



गया आयोजना क्षेत्र प्राधिकार, गया
का मुकदमा नं० 36/24.25
बिहार नगरपालिका अधिनियम 2007 के
अनुच्छेद 314 के अंतर्गत स्वीकृत किया गया।

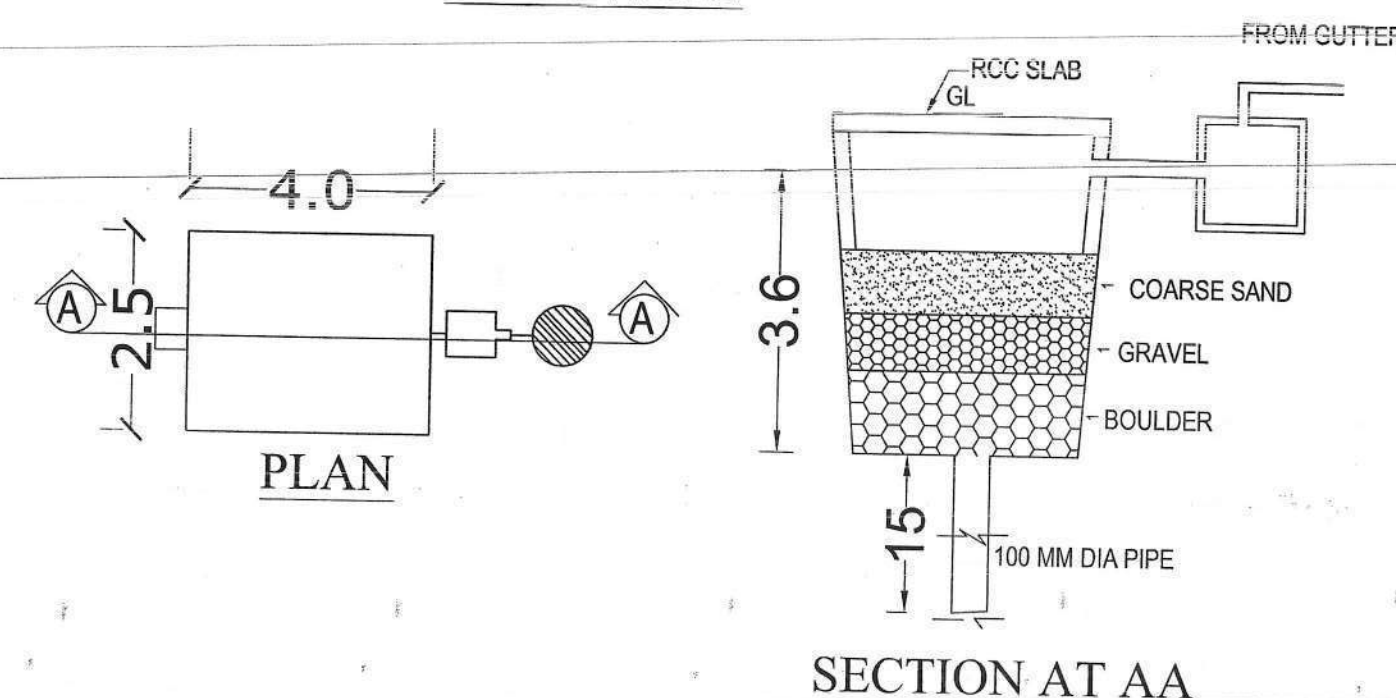
नक्का स्वीकृति की मान्यता पाँच वर्ष रहेगी।

 01/09/24

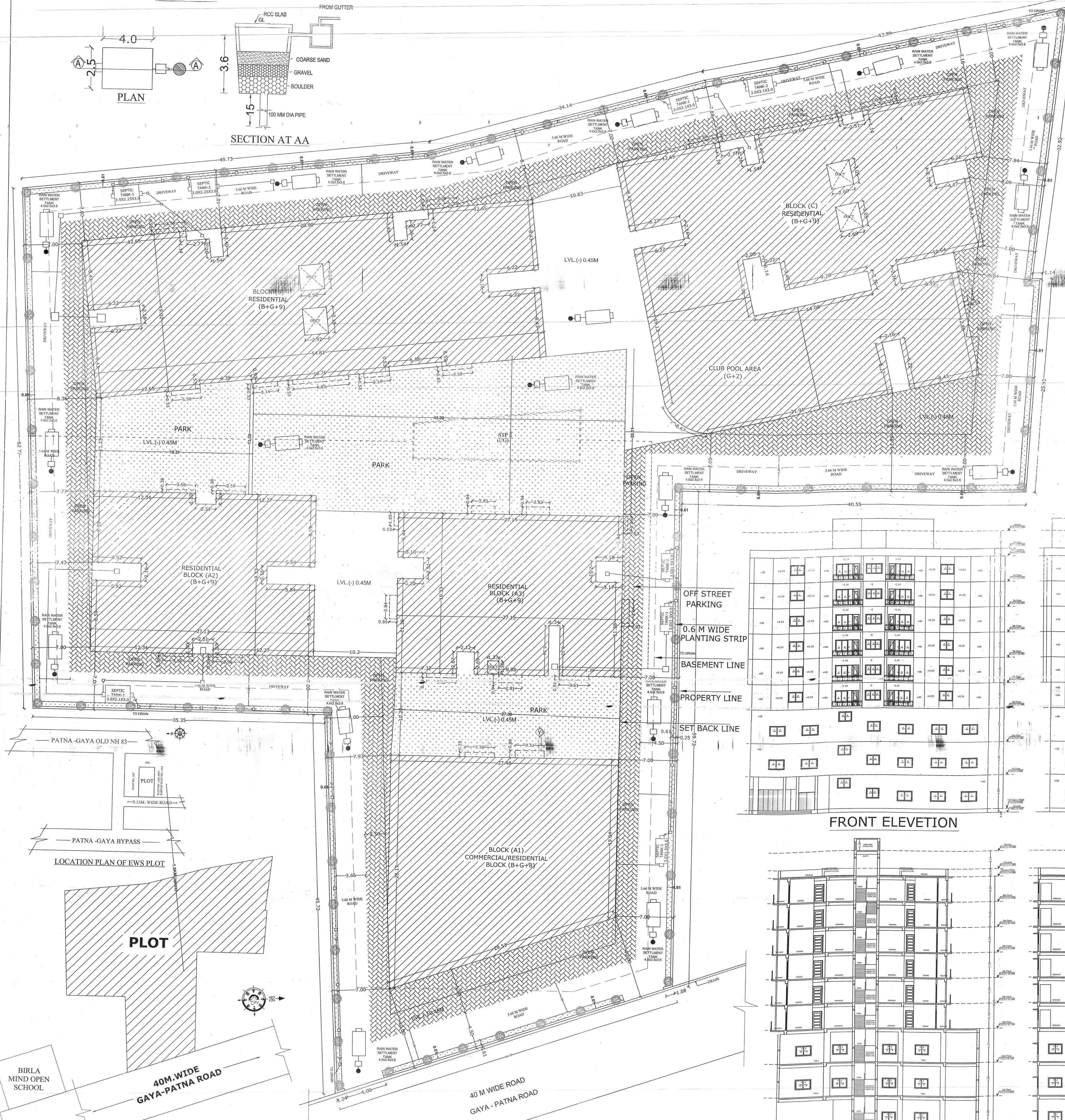
मुख्य कार्यपालक पदाधिकारी
गया आयोजना क्षेत्र प्राधिकार, गया

 01/09/24

DET. OF RECHARGEABLE BORE WELL

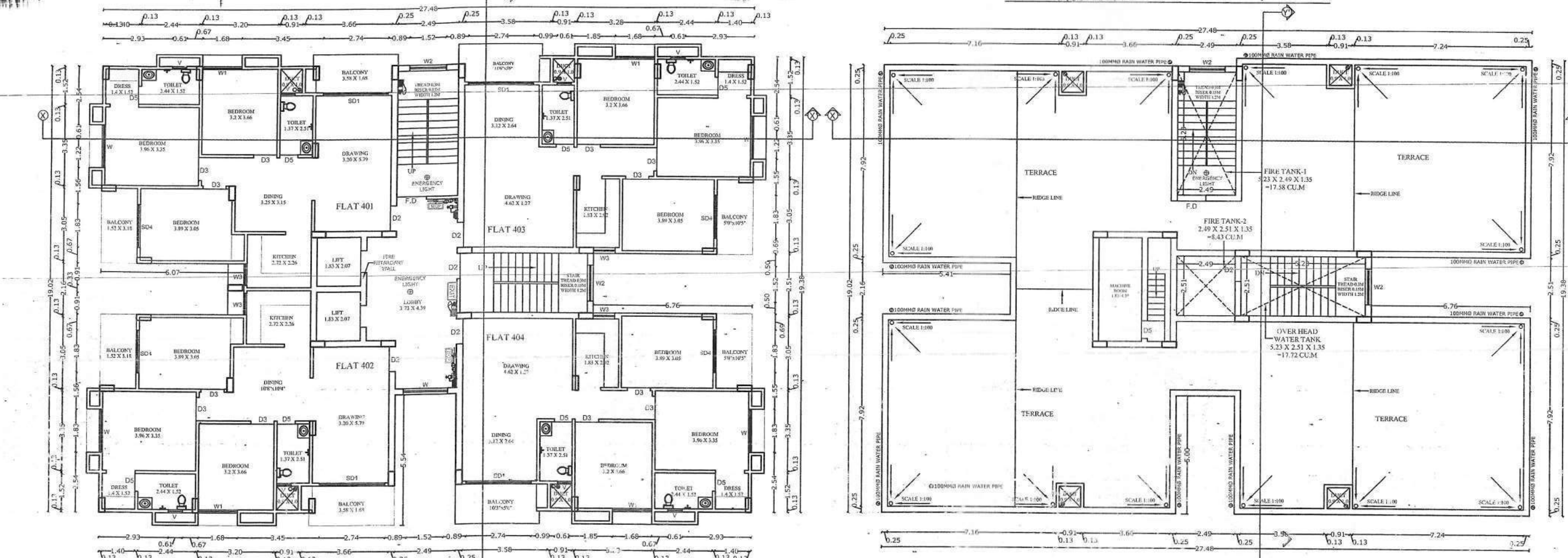


SECTION AT AA



GROUND FLOOR PLAN

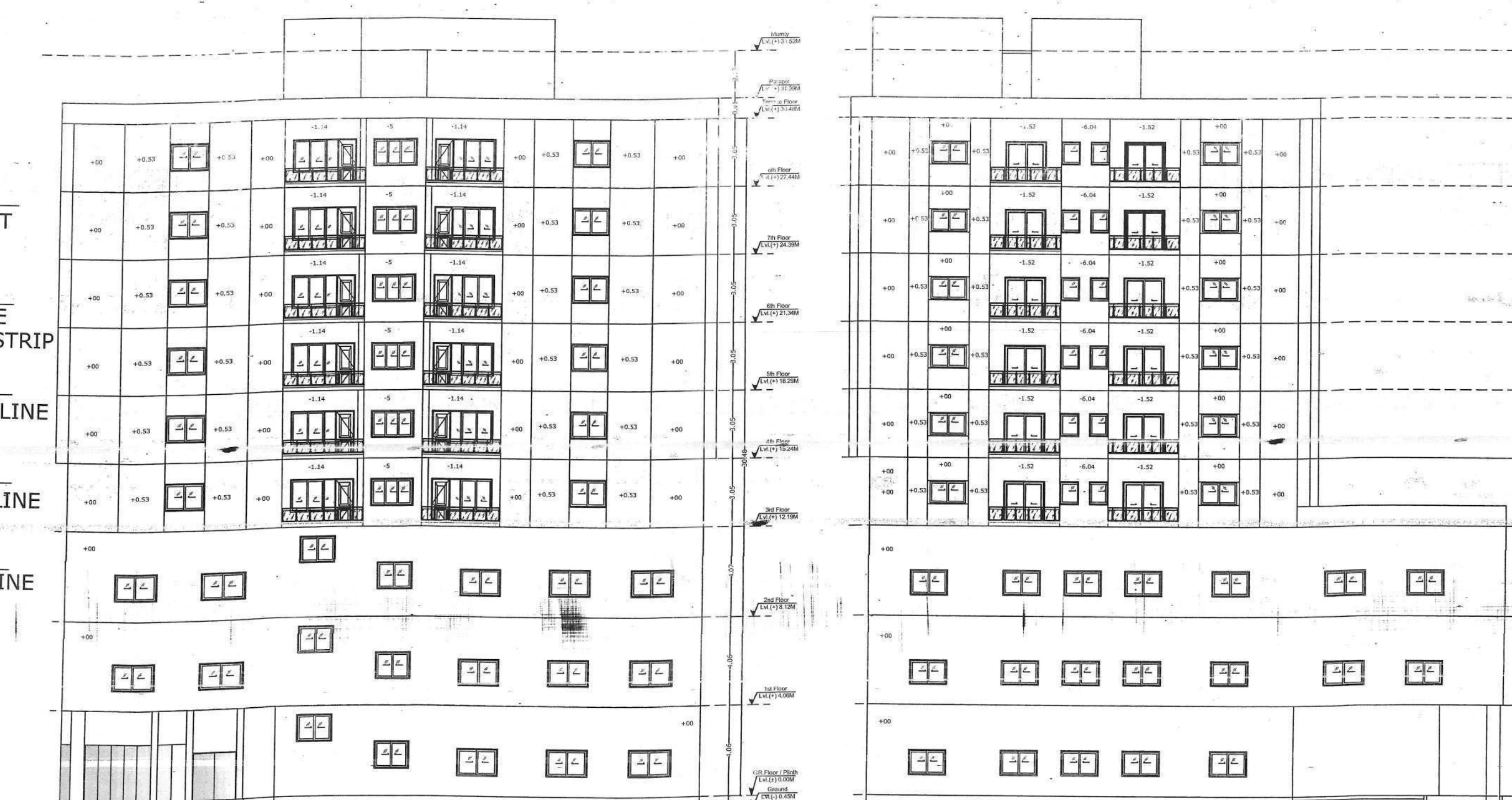
TYPICAL FLOOR (1ST & 2ND) PLAN



TYPICAL FLOOR (3RD-8TH) PLAN

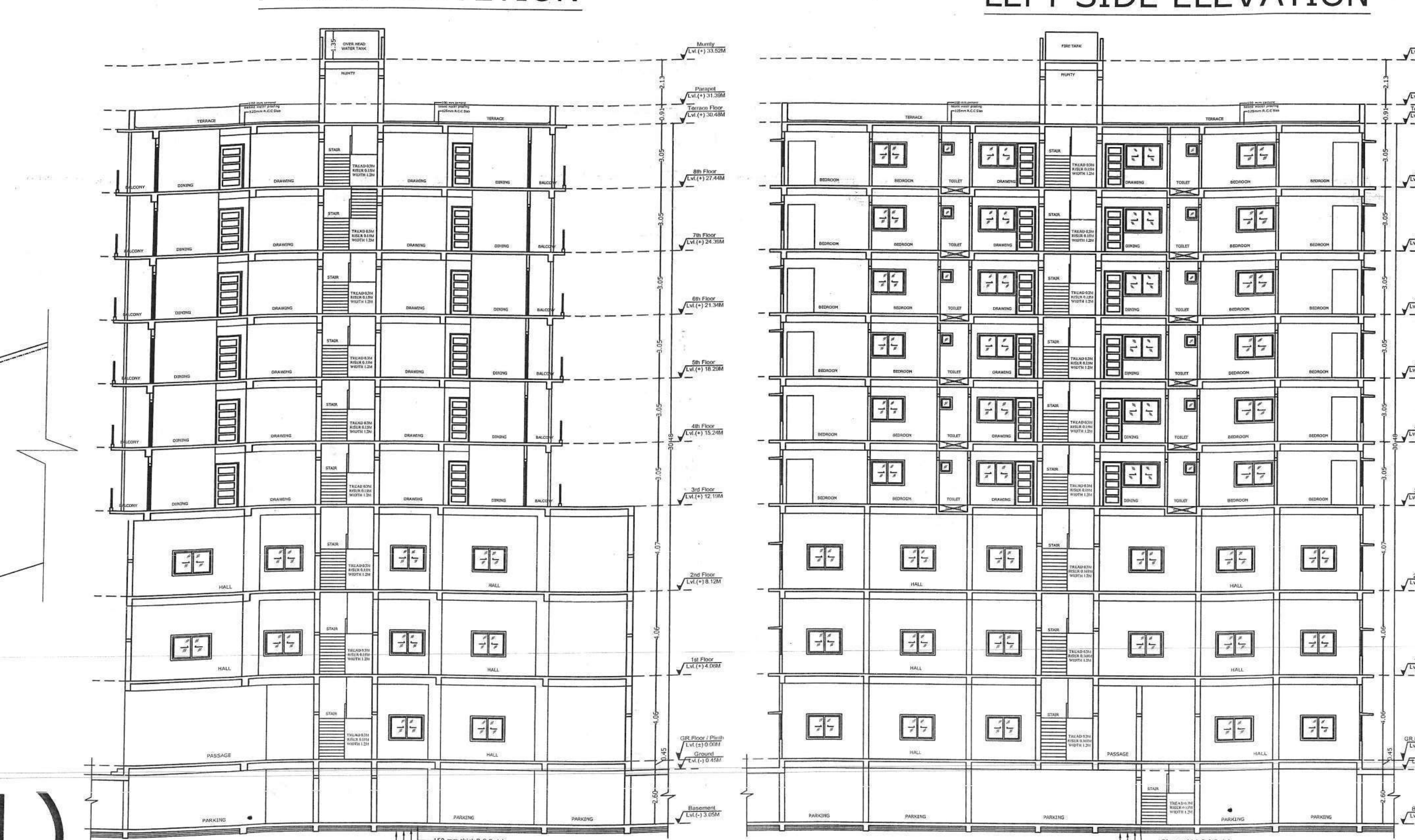
TERRACE FLOOR PLAN

AB BCD E F G H I J K L M



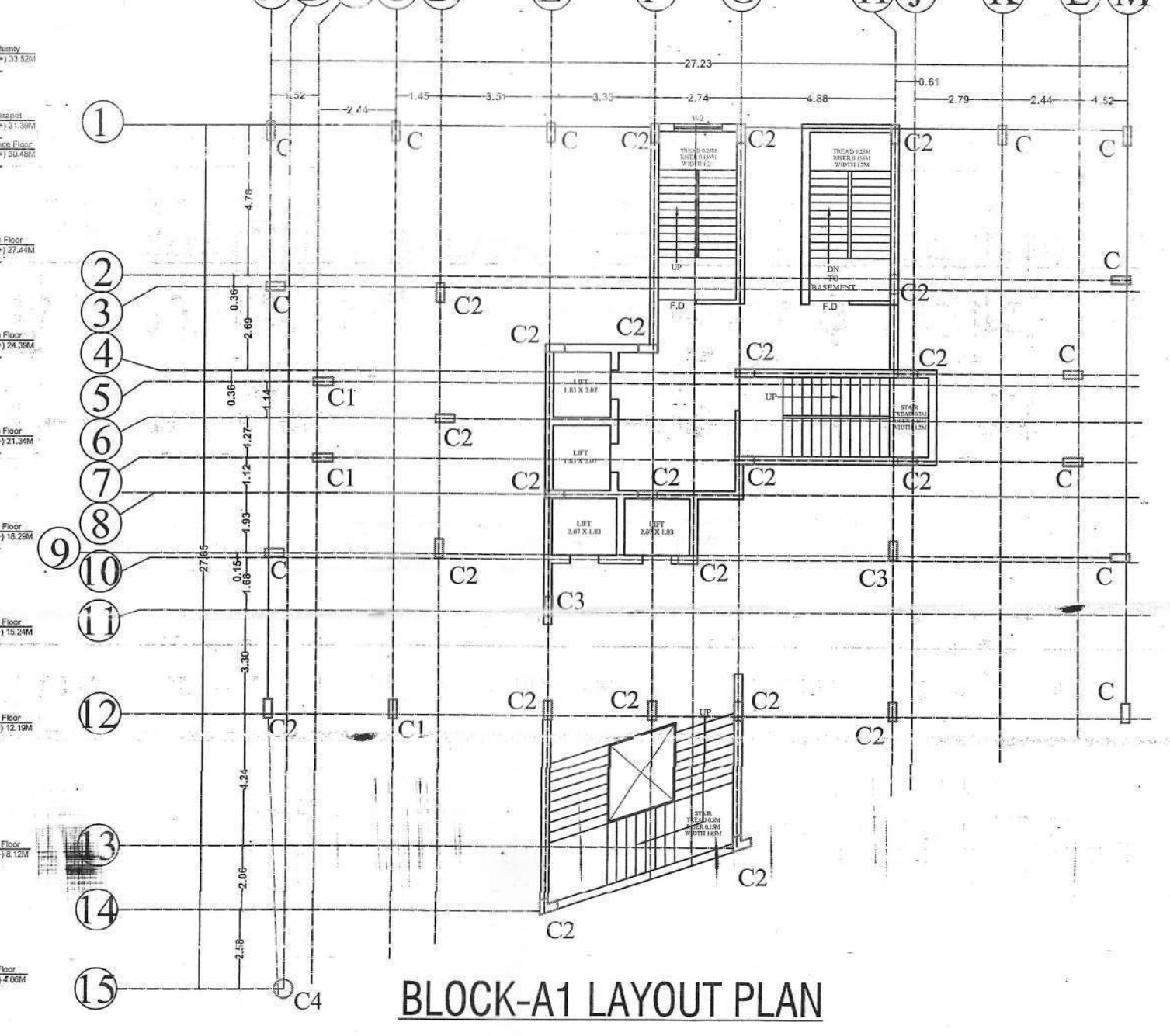
FRONT ELEVATION

LEFT SIDE ELEVATION



SECTION THROUGH (Y-Y')

SECTION THROUGH (X-X')



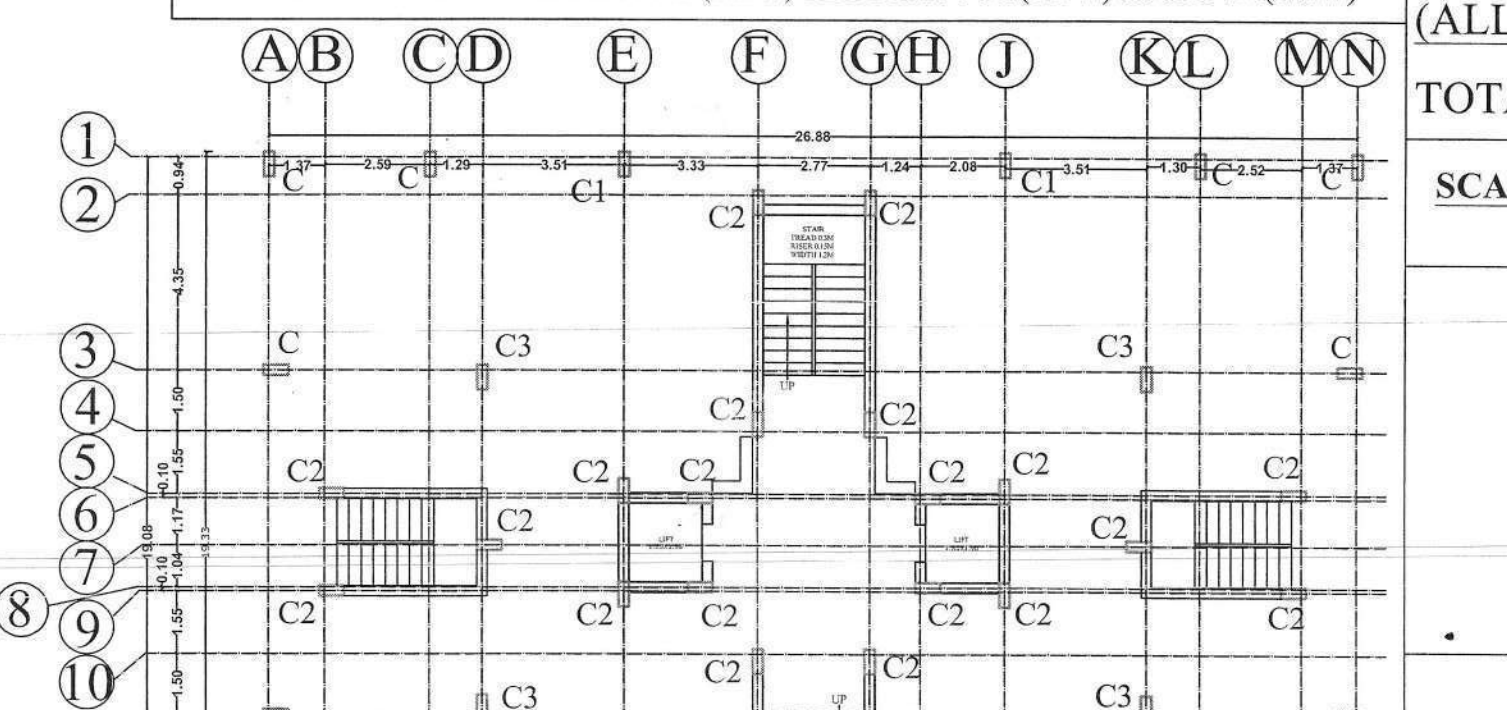
BLOCK-A1 LAYOUT PLAN

GREEN AREA CALCULATION
REQUIRED GREEN AREA = 15% OF TOTAL PLOT AREA
= 0.15 x 9392.11 = 1408.80 Sqm
TOTAL PLANTATION AREA AS PROVIDED
= 456.84 (along setback) + 0.61 = 278.70 Sqm
+ ON GF (13.35 + 20.11) + 245.0 + (12.30 x 19.21) + (10.20 x 27.30) = 1267.66 Sqm
TOTAL PLANTATION AREA PROVIDED = 1546.30 Sqm

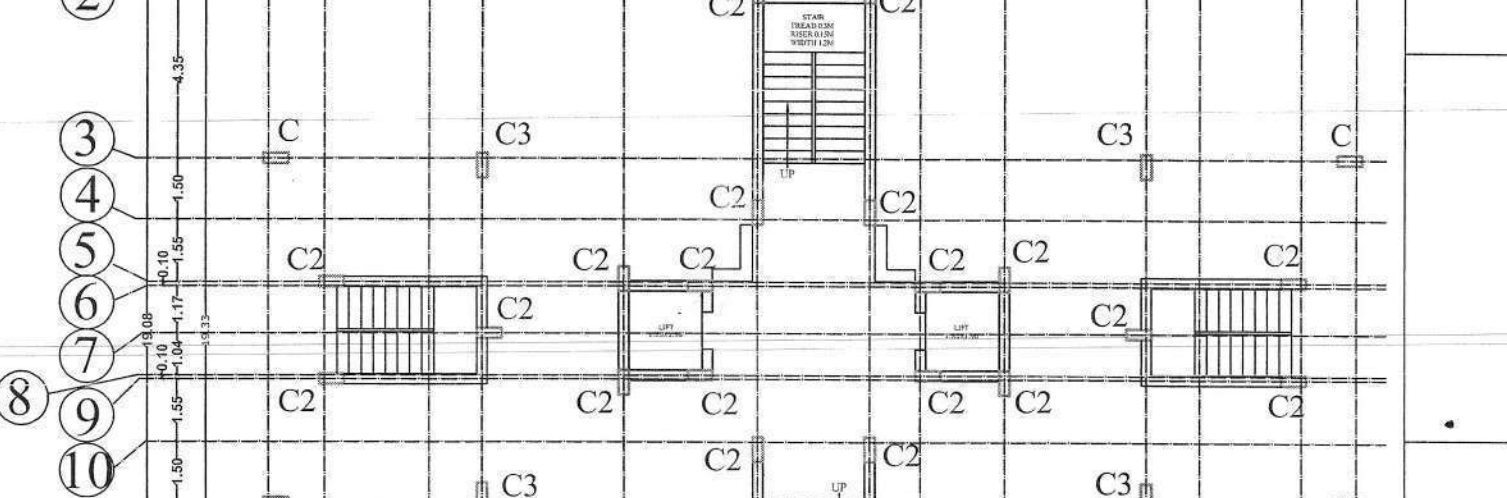
DEVELOPER DETAILS :-
HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES,
HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF
CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES
DIST. GAYA (BIHAR).
(1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR
(2) CHANDAN KUMAR - DIRECTOR
(3) SAHIL GUPTA - DIRECTOR

PLOT DETAILS :-
PROPOSED RESIDENTIAL / COMMERCIAL BUILDING PLAN
(RPS GAYA II CITY) - OF
(1) SRI HARENDRA KUMAR SINGH S/O LATE RAMJI PRASAD SINGH
(2) SRI SUBODH SINGH S/O LATE RAJBALLABH SINGH
(3) SRI MANOJ KUMAR SINGH S/O LATE RAJBALLABH SINGH
AT MAUZA-RASALPUR, ANCHAL CHANDAUTI, THANA RASALPUR,
THANA NO. 234, DIST. GAYA KHATA NO. 454, PLOT NO. 918
EW'S PLOT DETAILS :-
PROPOSED RESIDENTIAL BUILDING BLOCK - A(G+3), BLOCK - B(G+3) AND
BLOCK - C(G+4) FOR EW'S OF SRI MANOJ KUMAR SINGH SON OF LATE
RAJ BALAY SINGH AT GRAM RASALPUR, THANA CHANDAUTI, THANA NO.
234 DIST. GAYA. KHATA NO. 585(NEW) PLOT NO. 1426(NEW) AND 1424(NEW)

PARKING AREA CALCULATION
REQUIRED PARKING AREA = 30% OF B/U AREA
FOR HIGH RISE BUILDING
= 0.30 x 31927.83 = 9578.35 Sq.mt
TOTAL PARKING REQUIRED - 9578.35 Sq.mt
PROVIDED PARKING AREA
BASEMENT PARKING = 6721.63 Sq.mt
OPEN PARKING = 1395.90 Sq.mt
(ALL BLOCK)/GROUND FLOOR = 1794.45 Sq.mt
TOTAL PARKING PROVIDED = 9911.98 Sq.mt



AB CD E F GH I J KL MN



SCALE: 1:100 SHEET NO. 01/04 NORTH

OWNER SIGNATURE DEVELOPER SIGNATURE

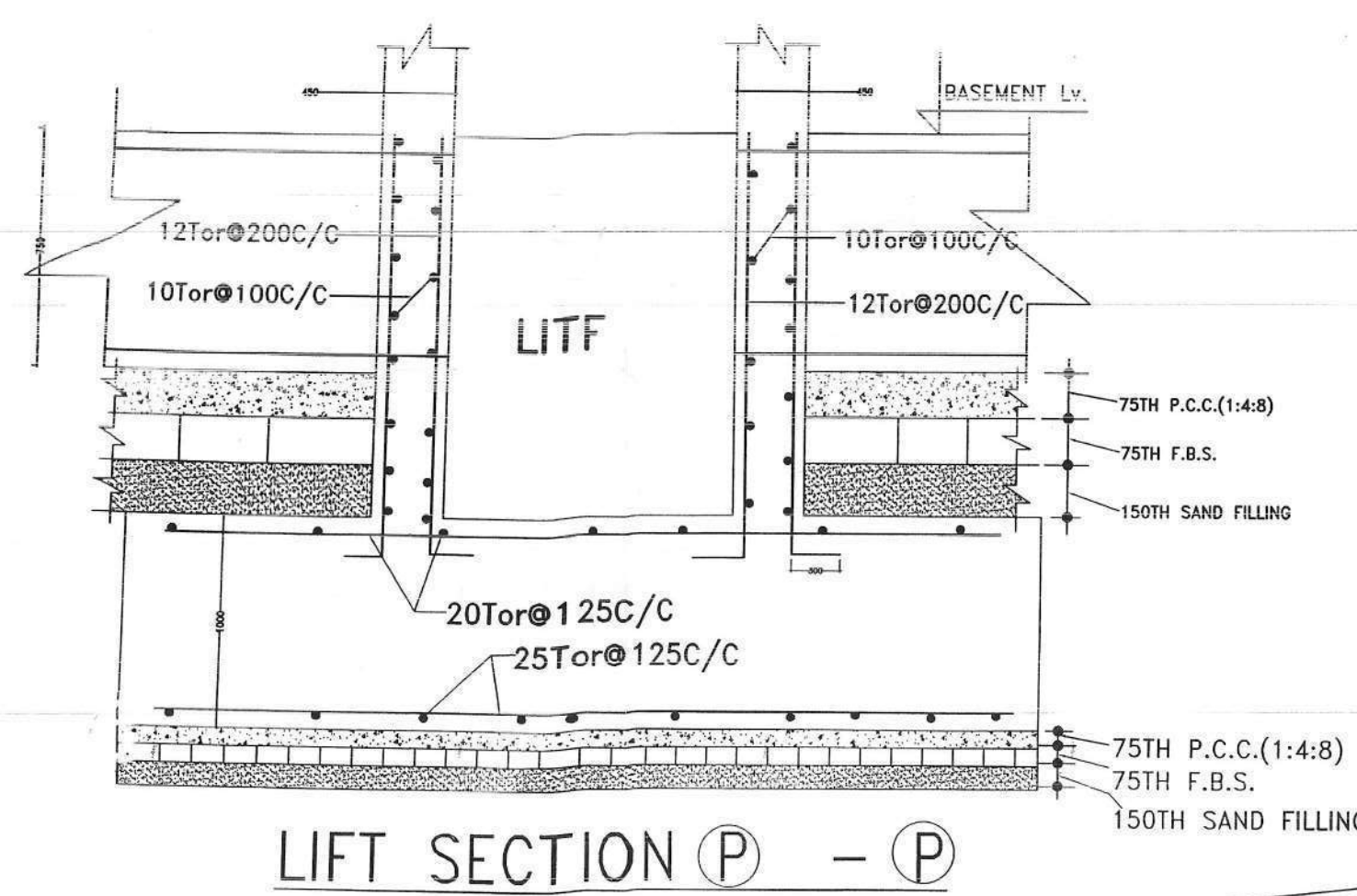
Dr. Bijay Kumar Sinha
Registered Structural Engineer
(Plan Development & Housing Department)
Reg. No. 300010/22-23-0178

LOCATION PLAN

BLOCK (A1)
SITE PLAN (B+G+8)

SECTION THROUGH (Y-Y')

SECTION THROUGH (X-X')



LIFT SECTION P - P



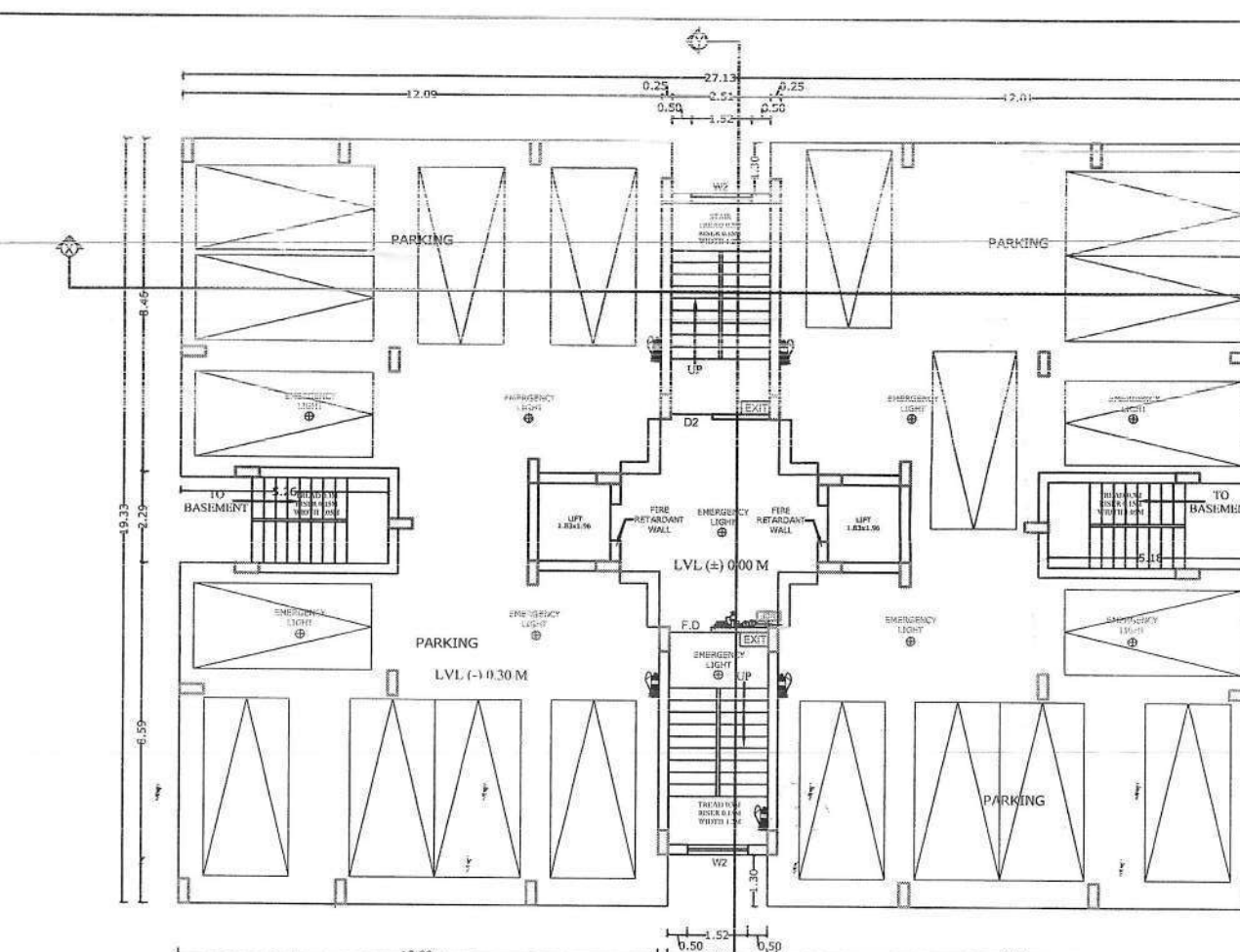
LEGEND :-

	FIRE HYDRANT PIPE LINE
	M.S. FABRICATED HOSE BOX
	YARD HYDRANT
	HOSE REEL
	AIR RELEASE VALVE
	BALL VALVE / BUTTERFLY VALVE
	FLOW SWITCH
	CONCEALED PENDENT TYPE SPRINKLER
	CONCEALED UPRIGHT TYPE SPRINKLER
	FIRE EXTINGUISHER
	MANUAL CALL POINT
	FIRE RATED DOOR
	MANUAL CALL POINT
	EMERGENCY LIGHT

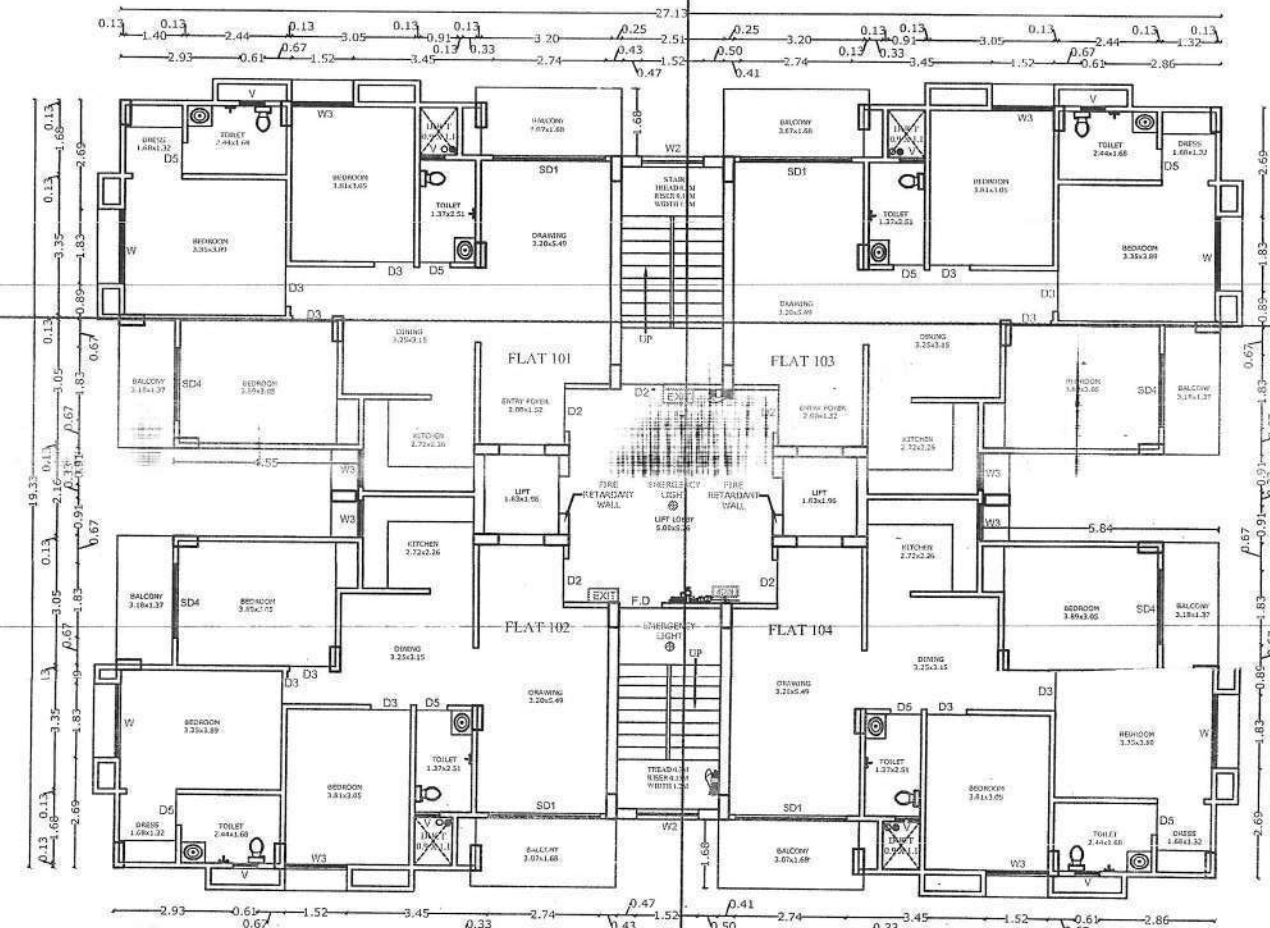
END PIPE CONNECTION TO SPRINKLER SHALL BE 25 MM IF NOT INDICATED
UPRIGHT SPRINKLERS SHALL BE PROVIDED ABOVE FALSE CEILING WHERE THE SPACE ABOVE FALSE CEILING IS 80mm OR MORE.

BLOCK (A2) RESIDENTIAL (B+G+9)

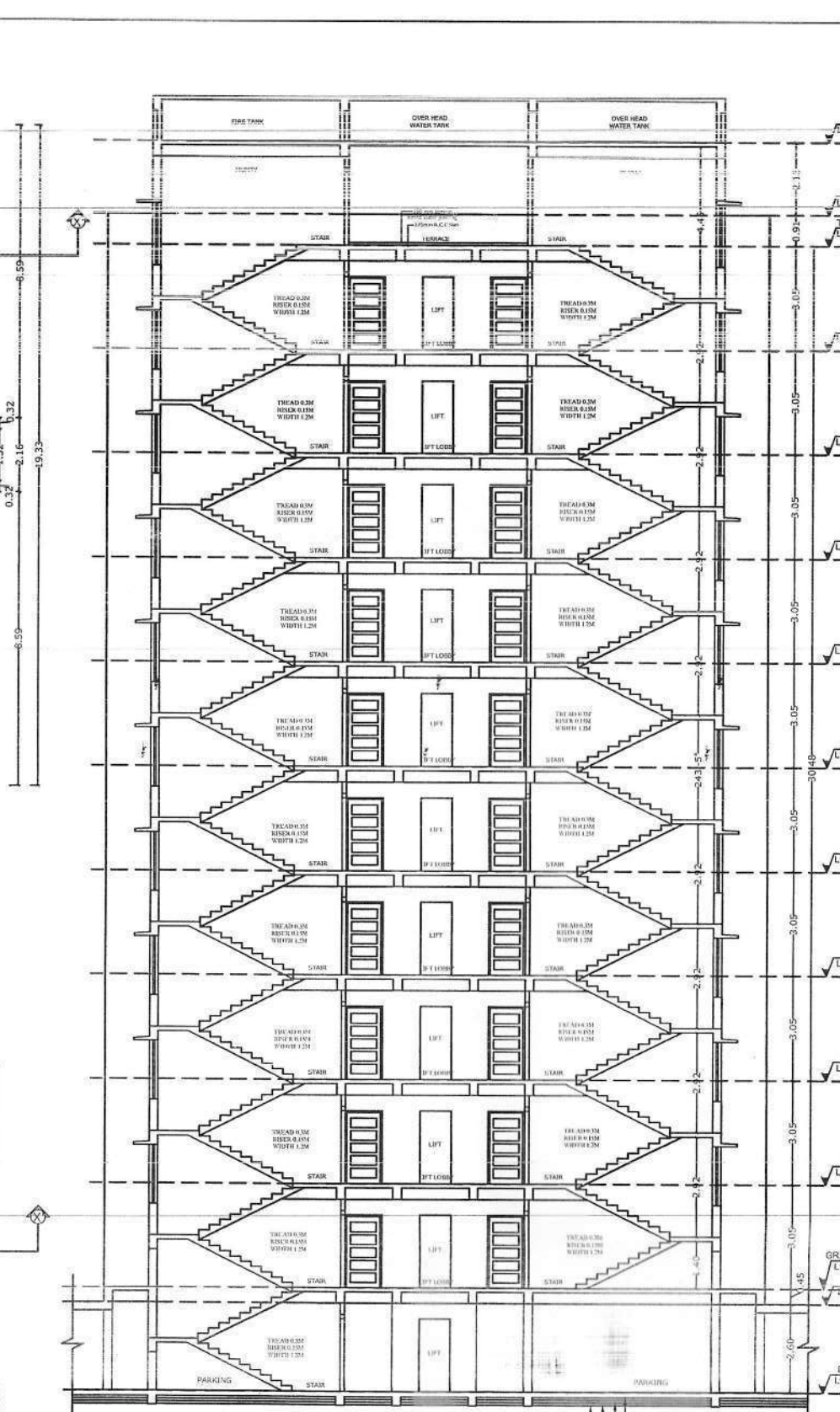
DET OF SHEAR LEG NEAR COLUMN



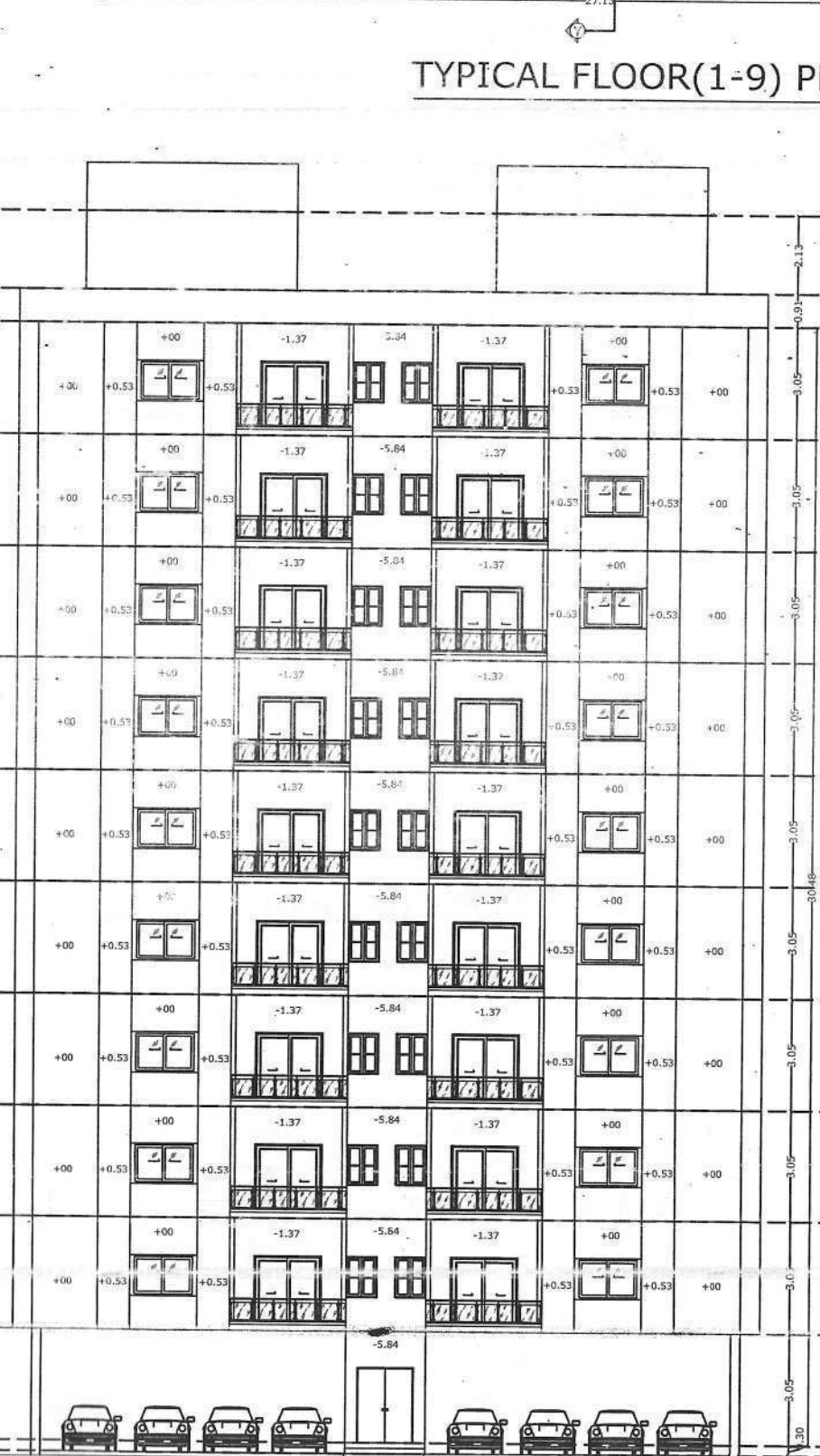
GROUND FLOOR PLAN



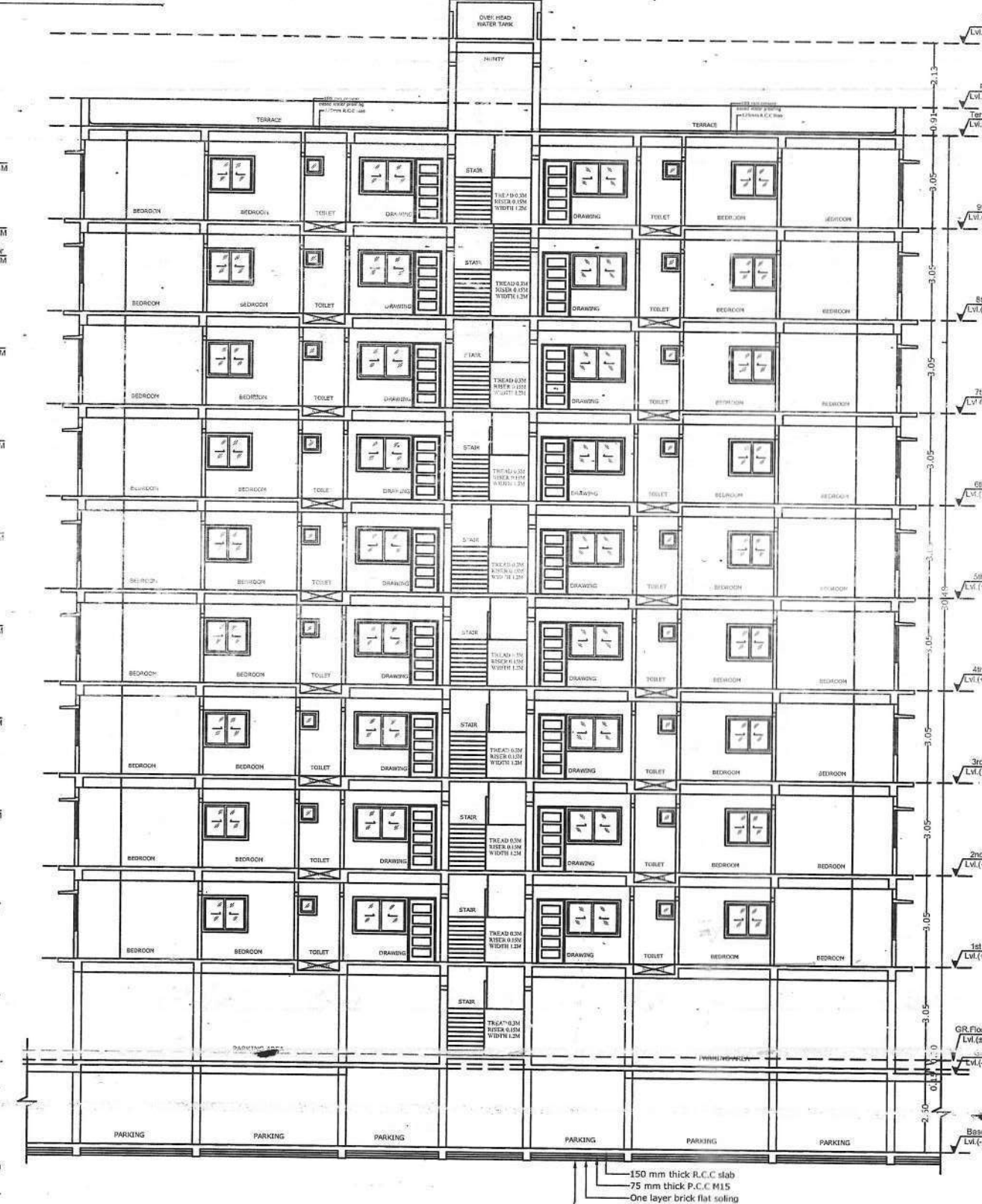
TYPICAL FLOOR (1-9) PLAN



SECTION THROUGH (Y-Y')



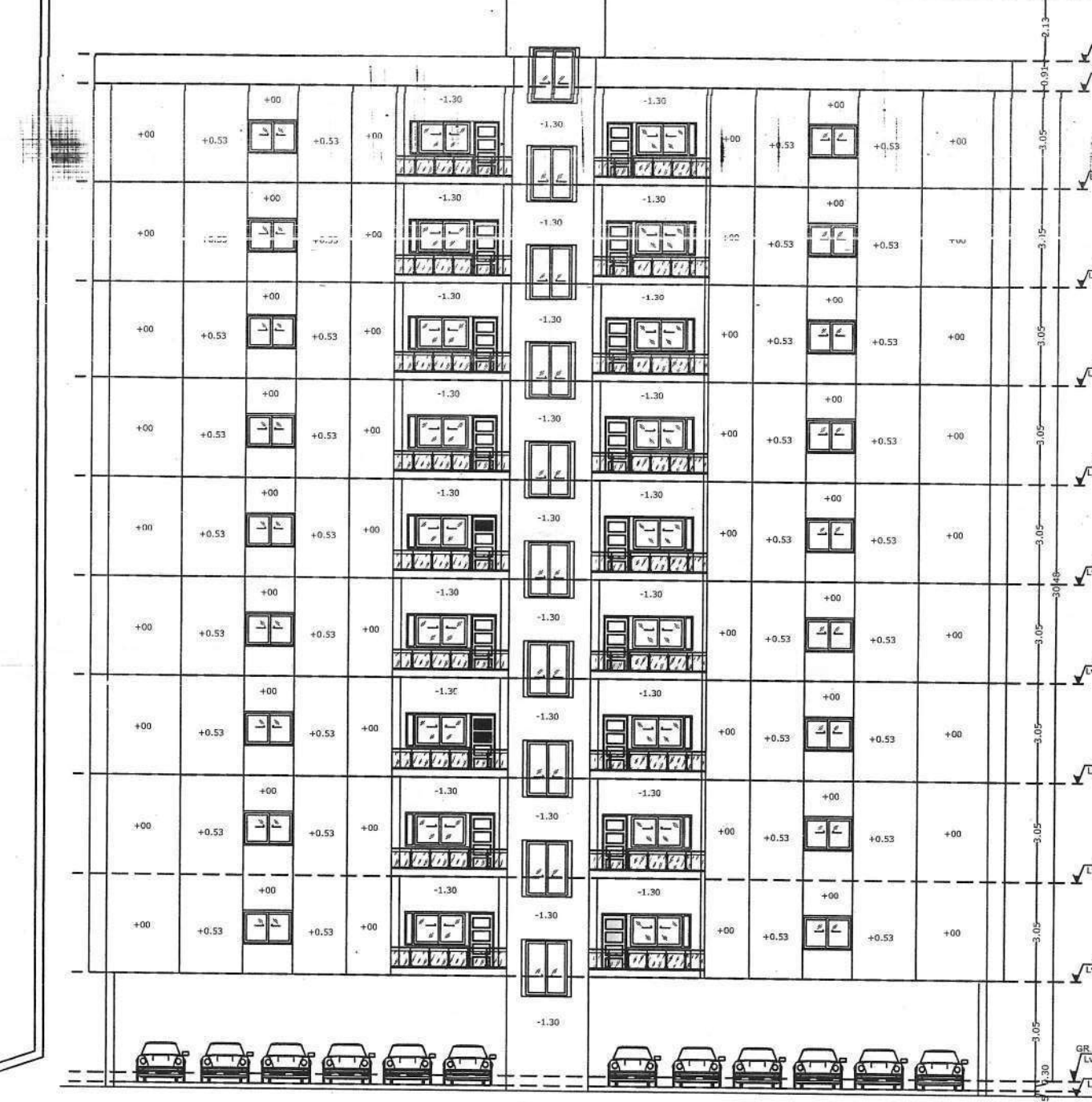
LEFT SIDE ELEVATION



SECTION THROUGH (X-X')

BASEMENT LINE
PROPERTY LINE

TERRACE FLOOR PLAN

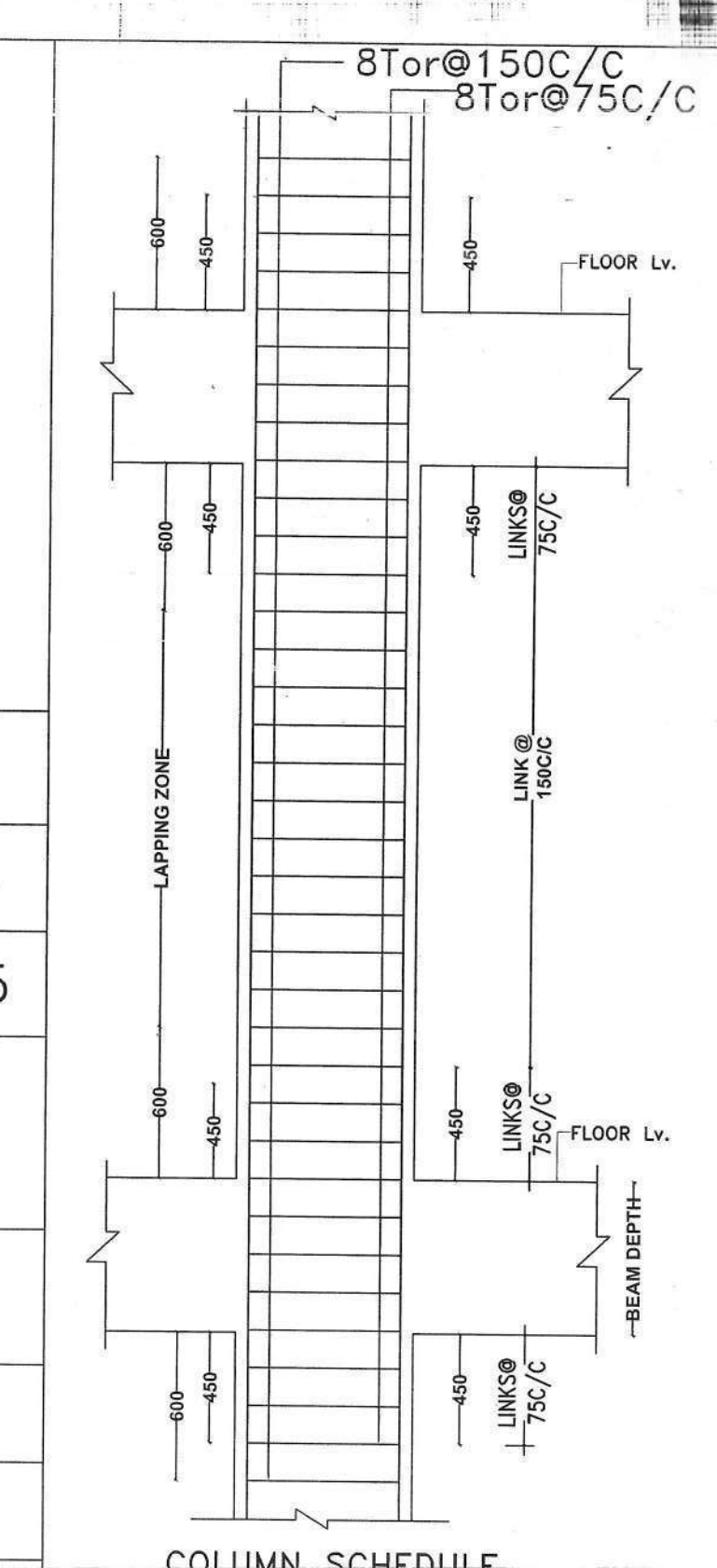


FRONT ELEVATION

DOWEL BAR
BASEMENT Lv.

12Tor@150C/C

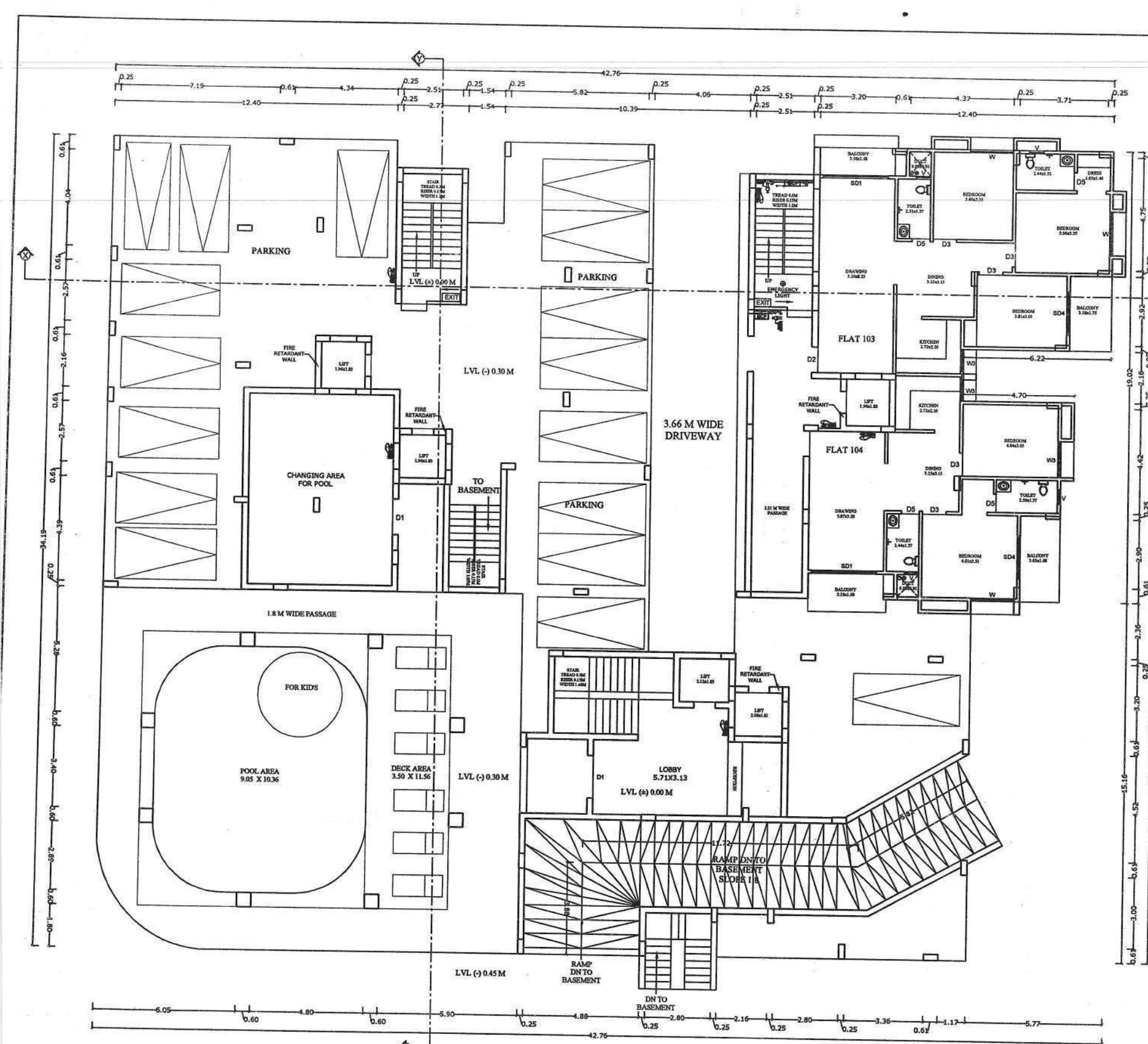
1ST FLOOR L.V. TO 4TH FLOOR L.V.	COLUMN SIZE	L	650	700	700	750	
		B	350	350	350	350	
	CONCRETE MIX		M:25	M:25	M:25	M:25	
	SECTION WITH MAIN STEEL						
		LINKS 8Tor@ 75/150c/c					
	COLUMN SIZE	L	650	700	700	750	350
		B	350	350	350	350	350
	CONCRETE MIX		M:25	M:25	M:25	M:25	M:25
	SECTION WITH MAIN STEEL						
		LINKS 8Tor@ 75/150c/c					
BASEMENT TO 1ST FLOOR L.V.	COLUMN SIZE	L	650	700	700	750	350
		B	350	350	350	350	350
	CONCRETE MIX		M:25	M:25	M:25	M:25	M:25
	SECTION WITH MAIN STEEL						
		LINKS 8Tor@ 75/150c/c					
	COLUMN MKD.		C	C1	C2	C3	C4



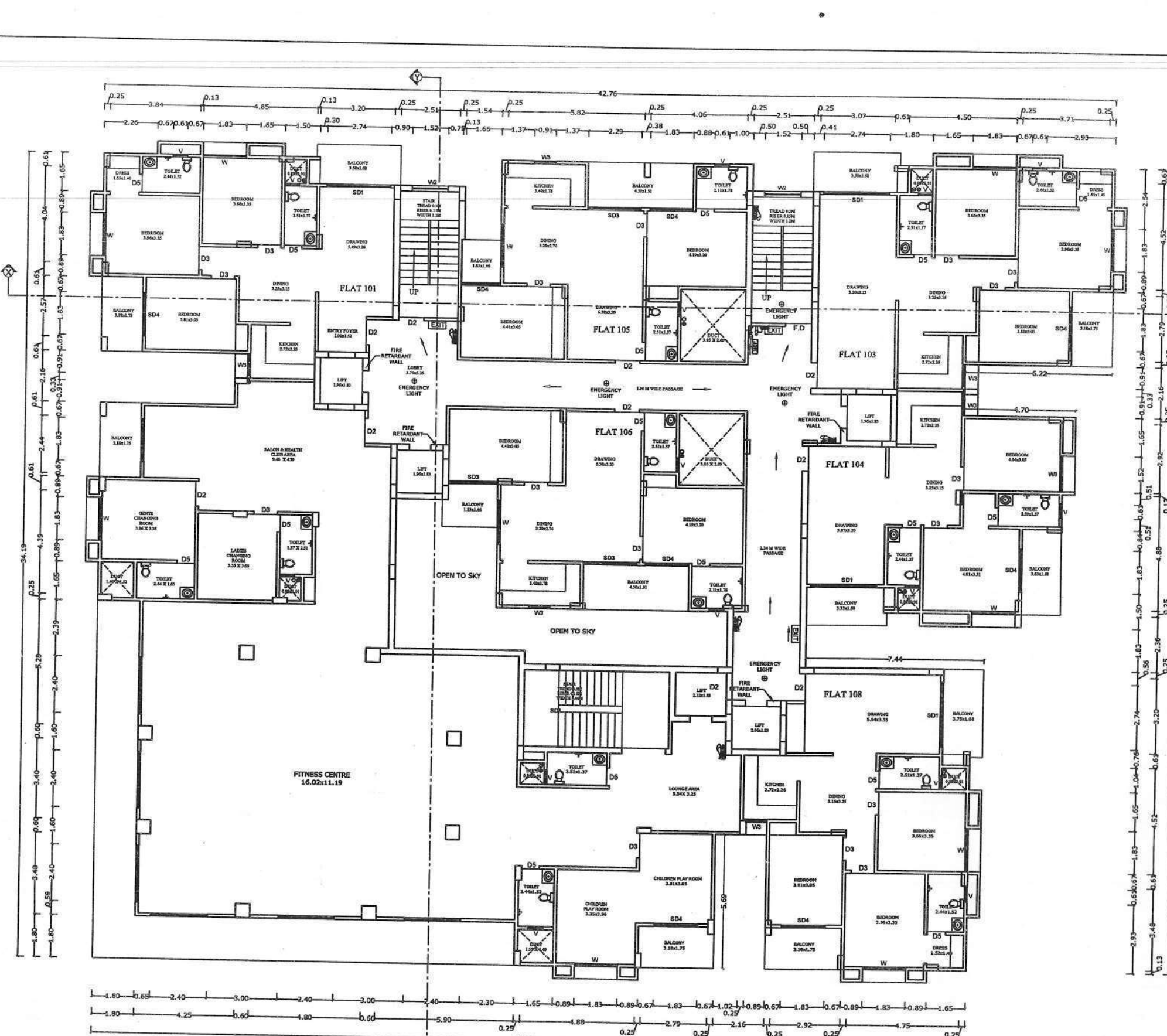
COLUMN SCHEDULE

- NOTES**
- ALL DIMENSIONS ARE IN MM NOTED OTHERWISE
 - ALL DIMENSION ARE IN READ NOT TO BE MEASURED
 - ALL CONC MIX M25 UNLESS OTHERWISE SPECIFIED
 - ALL CONC SHALL BE MACHINE MIXED AND MACHINE VIBRATED
 - 4 INDICATES TOP STEEL STRENGTH 500 N/MM²
 - CLEAR COVER TO MAIN STEEL 40 MM IN COLUMN
 - LAP LENGTH FOR VERTICAL BAR 37 BAR DIA
 - SPECING OF LINKS SHALL BE REDUCED TO 75C/C AT LOCATION OF 450 ABOVE AND BELOW THE FLOOR BEAM SEE (DET-K)
 - COL BAR SHALL BE LAPPED IN BETWEEN THE ZONE OF 600 ABOVE AND 600 BELOW THE FLOOR BEAM SEE COLUMN DETAILS
 - PROVIDE STIRRUPS IN BEAM COL JUNCTION SHOULD BE U TYPE @100c/c
 - FOR LOCATION OF COL REFER DRG.

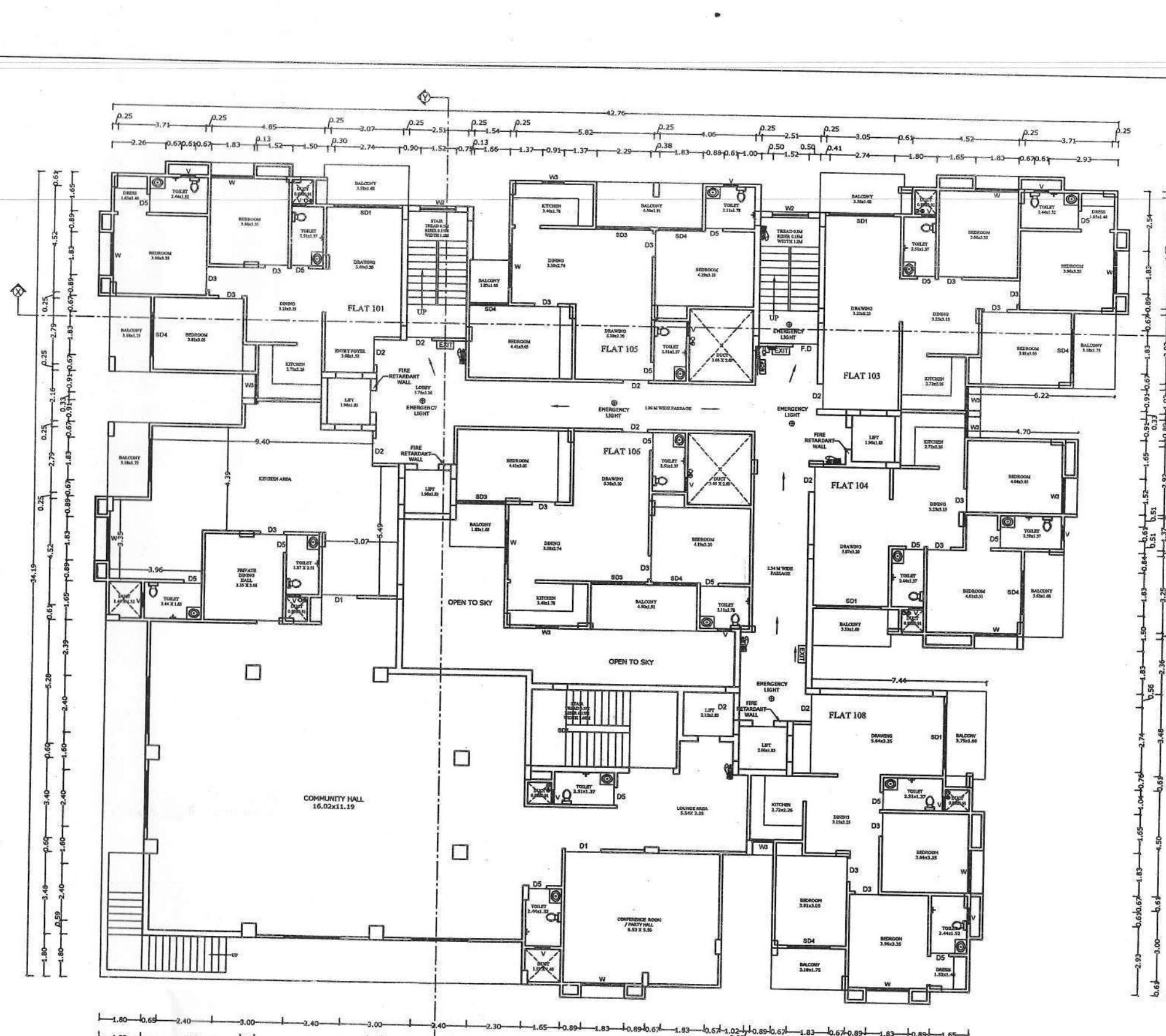
PLOT AREA TOTAL PLOT AREA AS PER DEED = 9392.11 SQ.MT.	
DETAILS OF BLOCK (A2)	
RESIDENTIAL BLOCK A-2 (BU AREA) GROUND FLOOR = 26.94 Sq.mt 1ST TO 9TH FLOOR = 4187.885 Sq.mt TOTAL BU AREA OF BLOCK A-2 = 4214.82 Sq.mt	
FIRE WATER TANK REQUIRED FIRE WATER TANK = 25000 Ltrs FOR BLOCK (A-1) PROVIDED FIRE TANK-1 = 5.23x2.49x1.35 = 17.58 Cum = 17580 Ltrs FIRE TANK-2 = 2.49x2.51x1.35 = 8.43 Cum = 8430 Ltrs Total = 17.58+8.43 = 26.01 Cum = 26,010 Ltr FOR BLOCK (A-2) PROVIDED FIRE TANK-1 = 2.51x5.23x1.2 = 15.75 Cum = 15,750 Ltrs FIRE TANK-2 = 3.07x3.05x1.2 = 11.23 Cum = 11,230 Ltrs Total = 15.75+11.23 = 26.98 Cum = 26,980 Ltr FOR BLOCK (A-3) PROVIDED FIRE TANK-1 = 2.51x5.23x1.2 = 15.75 Cum = 15,750 Ltrs FIRE TANK-2 = 3.07x3.05x1.2 = 11.23 Cum = 11,230 Ltrs Total = 15.75+11.23 = 26.98 Cum = 26,980 Ltr FOR BLOCK B PROVIDED FIRE TANK-1 = 2.51x5.23x1.2 = 15.75 Cum = 15,750 Ltrs FIRE TANK-2 = 3.07x3.05x1.2 = 11.23 Cum = 11,230 Ltrs Total = 15.75+11.23 = 26.98 Cum = 26,980 Ltr FOR BLOCK C PROVIDED FIRE TANK-1 = 2.51x5.23x1.35 = 17.72 Cum = 17,720 Ltrs FIRE TANK-2 = 3.07x3.05x1.2 = 11.23 Cum = 11,230 Ltrs Total = 17.72+11.23 = 28.95 Cum = 28,950 Ltr	
SEPTIC TANK CALCULATION 1 PERSONS NEED 0.085 CUM CAPACITY OF SEPTIC TANK BLOCK (A-1) TOTAL PERSONS NEED = 0.085 X 120 = 10.2 Cum PROVIDED SEPTIC TANK-1 = 3.0x1.5x3.0 = 13.5 Cum FOR COMMERCIAL BUILDING SEPTIC TANK-2 = BLOCK (A-2) TOTAL PERSONS NEED = 0.085 X 216 = 18.36 Cum PROVIDED SEPTIC TANK-1 = 3.0x2.1x3.0 = 18.9 Cum BLOCK (A-3) TOTAL PERSONS NEED = 0.085 X 288 = 24.48 Cum PROVIDED SEPTIC TANK-1 = 3.0x1.5x3.0 = 13.5 Cum SEPTIC TANK-2 = 3.0x1.5x3.0 = 13.5 Cum TOTAL = 27.0 Cum BLOCK B TOTAL PERSONS NEED = 0.085 X 468 = 39.78 Cum PROVIDED SEPTIC TANK-1 = 3.0x2.25x3.0 = 20.25 Cum SEPTIC TANK-2 = 3.0x2.25x3.0 = 20.25 Cum TOTAL = 40.50 Cum BLOCK C TOTAL PERSONS NEED = 0.085 X 432 = 36.72 Cum PROVIDED SEPTIC TANK-1 = 3.0x2.1x3.0 = 18.90 Cum SEPTIC TANK-2 = 3.0x2.1x3.0 = 18.90 Cum TOTAL = 37.80 Cum	
RAIN WATER HARVESTING SUMP CALCULATION MAXIMUM TERRACE AREA TOTAL = 1125 SQM RAIN WATER HARVESTING SUMP REQUIRES = 5 CUM PER 100 SQM ROOF AREA SO TOTAL REQUIRE CAPACITY OF TANK = 0.05 X 1125 = 5.625 CUM PROVIDED RAIN WATER SETTLEMENT TANK SIZE TANK-1 = 4.0x2.5x3.0 = 30 CUM TANK-2 = 4.0x2.5x3.0 = 30 CUM TOTAL = 30+30 = 60 CUM	SHEET NO. 02/04 SCALE 1:100 NORTH
GREEN AREA CALCULATION REQUIRED GREEN AREA = 15% OF TOTAL PLOT AREA = 0.15 x 9392.11 = 1408.82 Sqm TOTAL PLANTATION AREA AS PROVIDED = 456.84 (along setback) x 0.61 = 278.70 Sqm + ON GF (13.35+20.11) x 2x45.0 + (12.30x 19.21) + (10.20x 27.30) = 1267.60 Sqm TOTAL PLANTATION AREA PROVIDED = 1546.30 Sqm	
DEVELOPER DETAILS :- HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES, HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES DIST. GAYA (BIHAR). (1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR (2) CHANDAN KUMAR - DIRECTOR (3) SAHIL GUPTA - DIRECTOR	
PLOT DETAILS :- PROPOSED RESIDENTIAL / COMMERCIAL BUILDING PLAN (RPS GAYA II CITY)-OF (1) SRI HARENDRA KUMAR SINGH S/O LATE RAMJI PRASAD SINGH (2) SRI SUBODH SINGH S/O LATE RAJBALLABH SINGH (3) SRI MANOJ KUMAR SINGH S/O LATE RAJBALLABH SINGH AT MAUZA- RASALPUR ANCHAL - CHANDAUTI THANA - RASALPUR, THANA NO. 234 DIST. GAYA KHATA NO. 454 PLOT NO. 918	
OWNER SIGNATURE 	DEVELOPER SIGNATURE
ARCHITECT SIGNATURE 	STRUCTURAL ENGINEER SIGNATURE



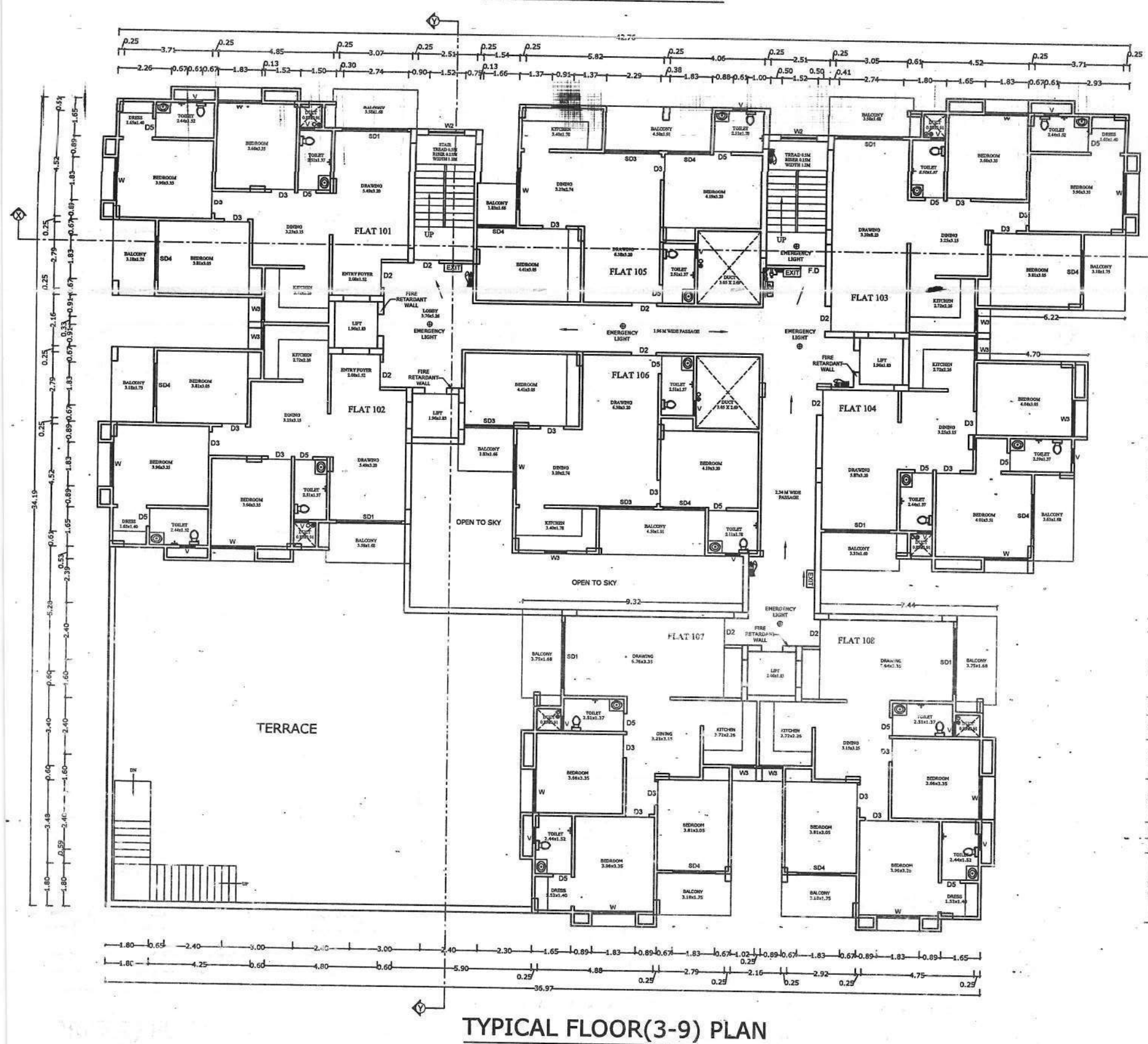
GROUND FLOOR PLAN



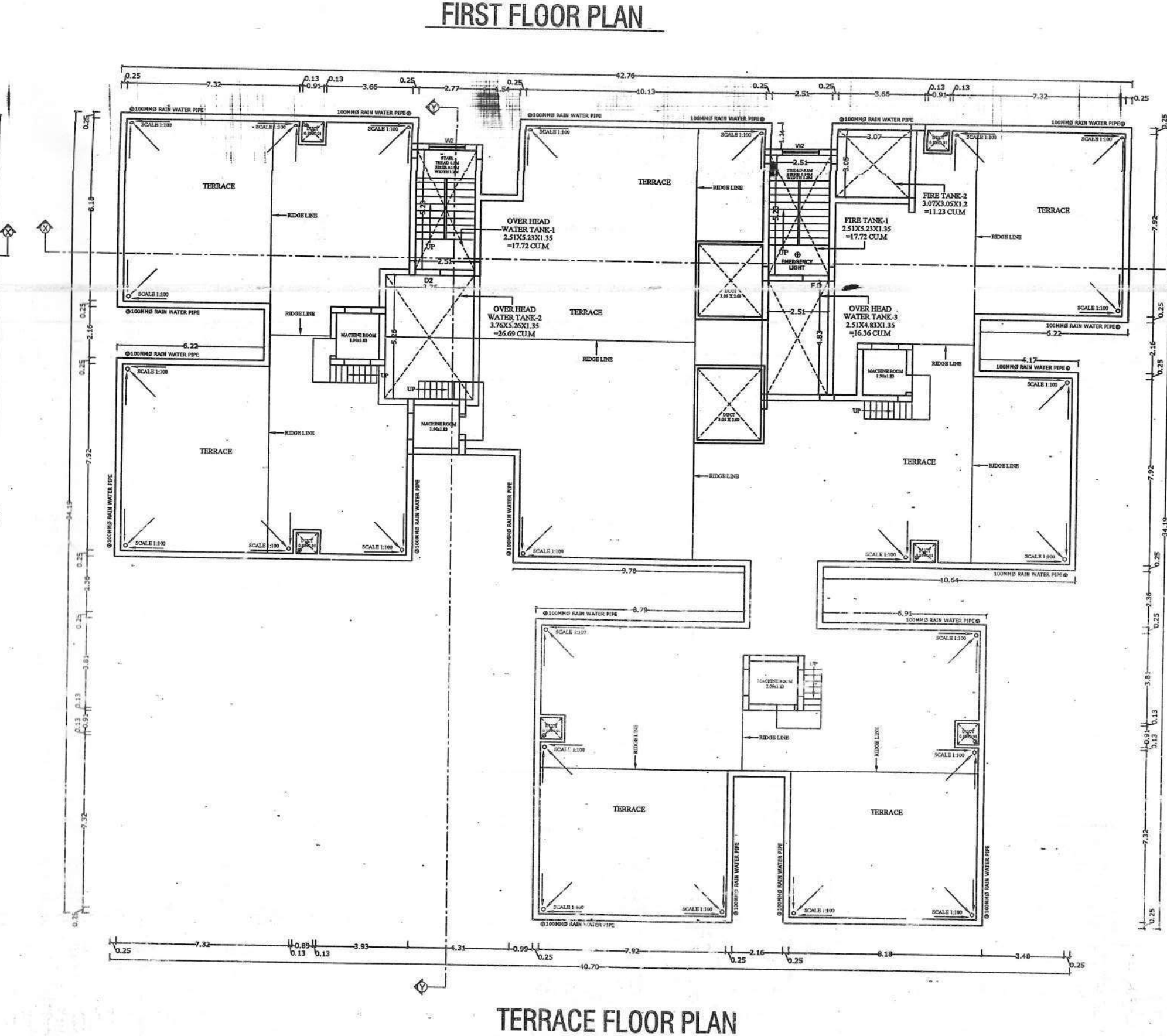
FIRST FLOOR PLAN



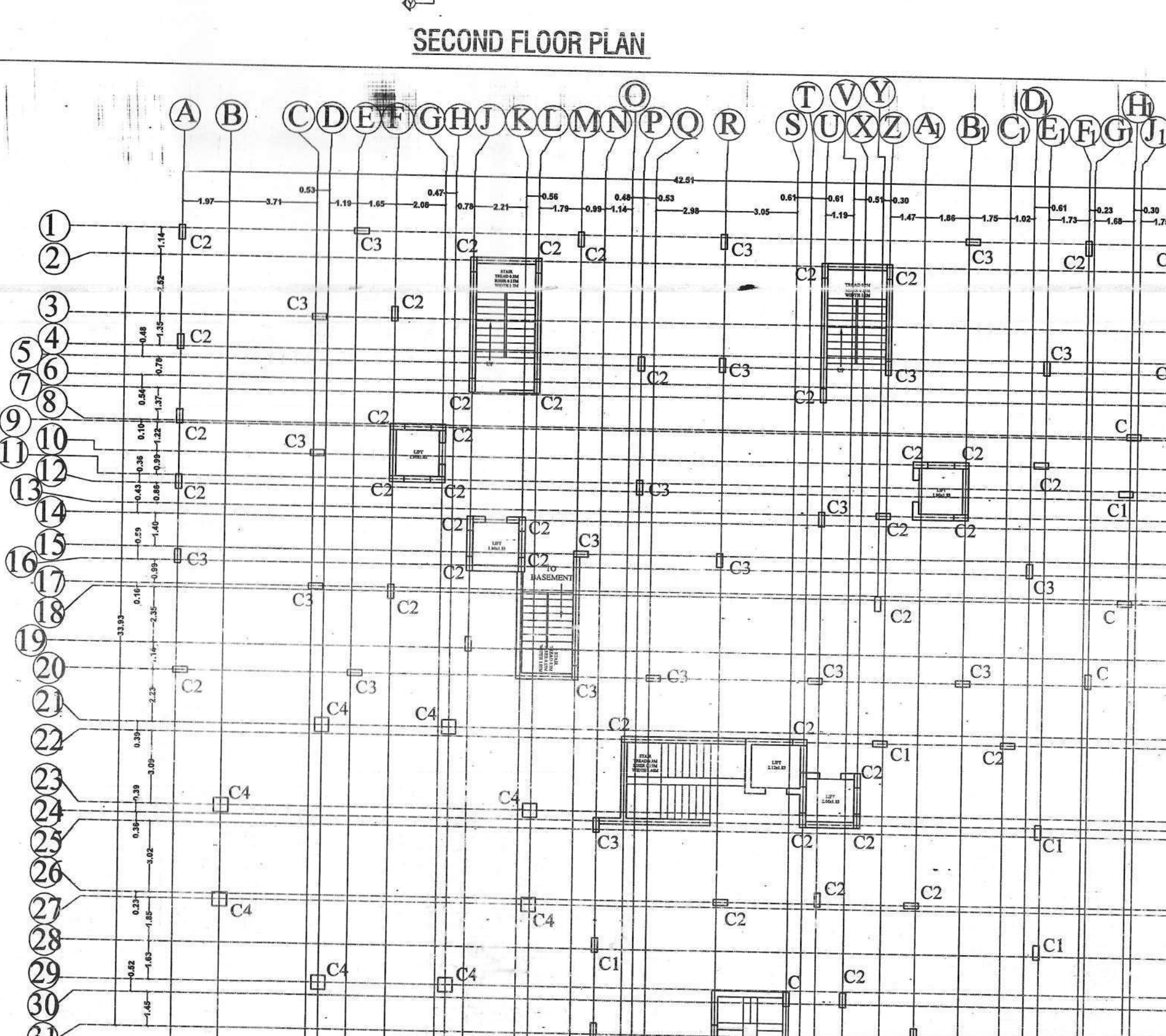
SECOND FLOOR PLAN



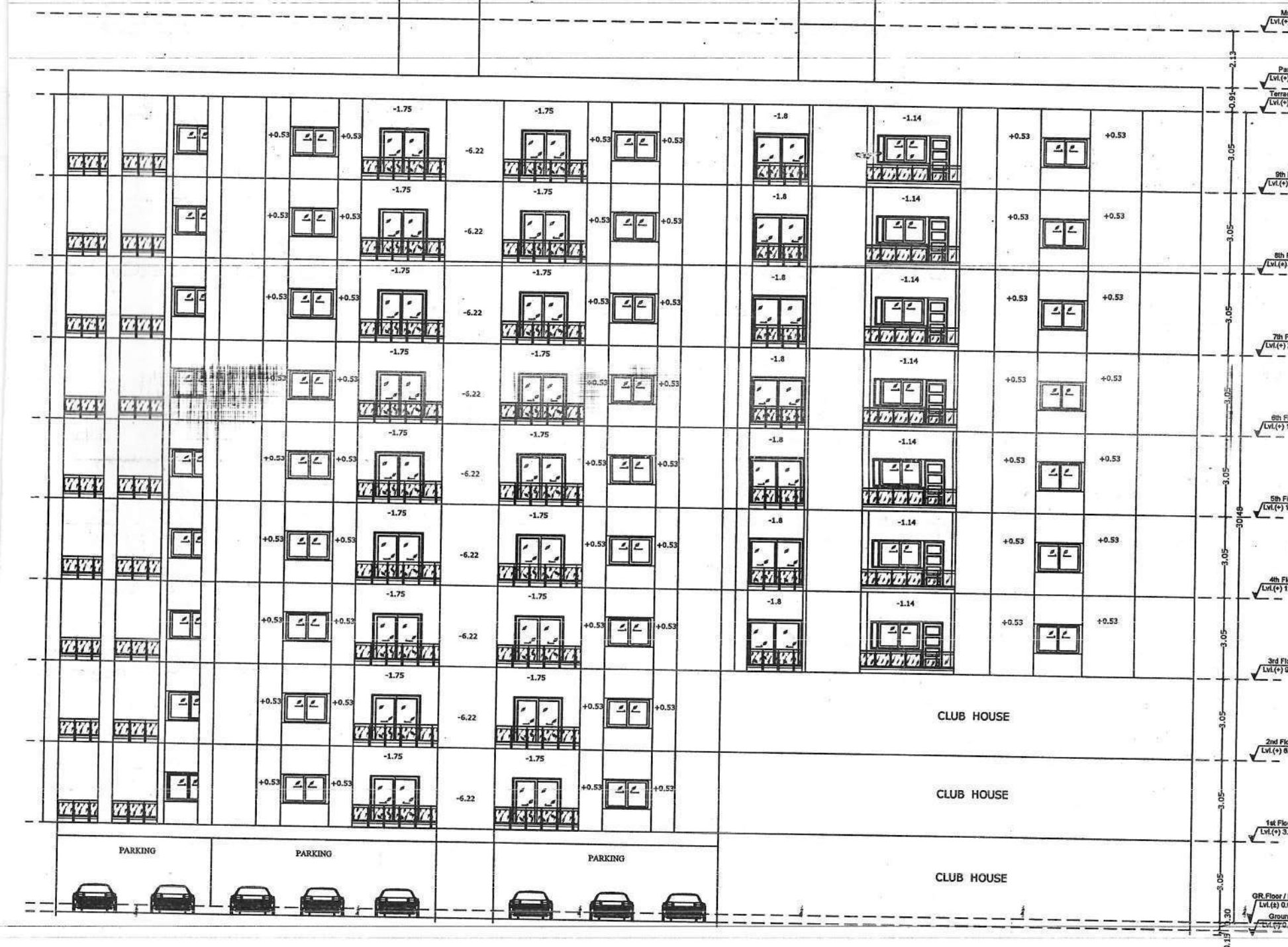
TYPICAL FLOOR (3-9) PLAN



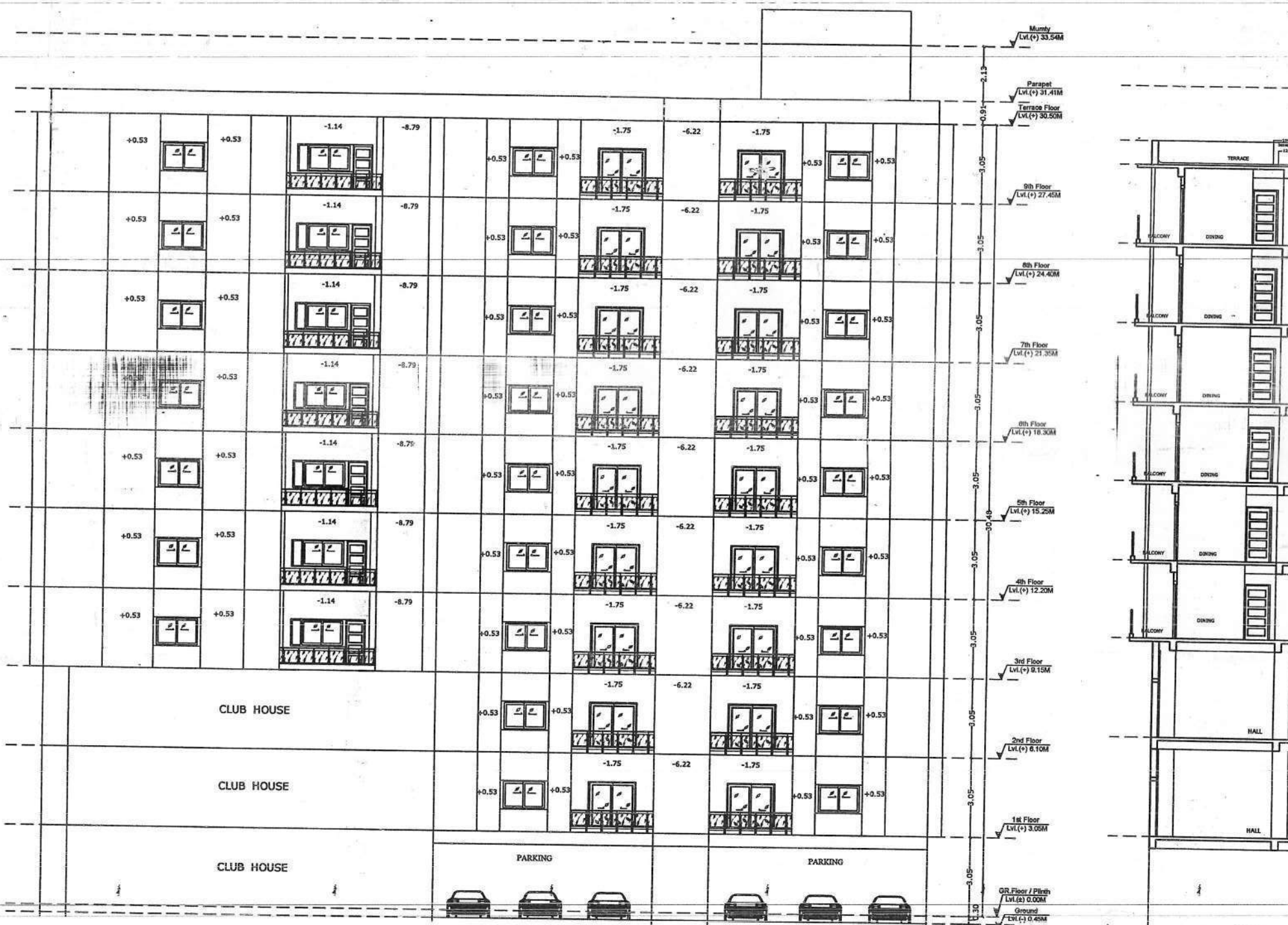
TERRACE FLOOR PLAN



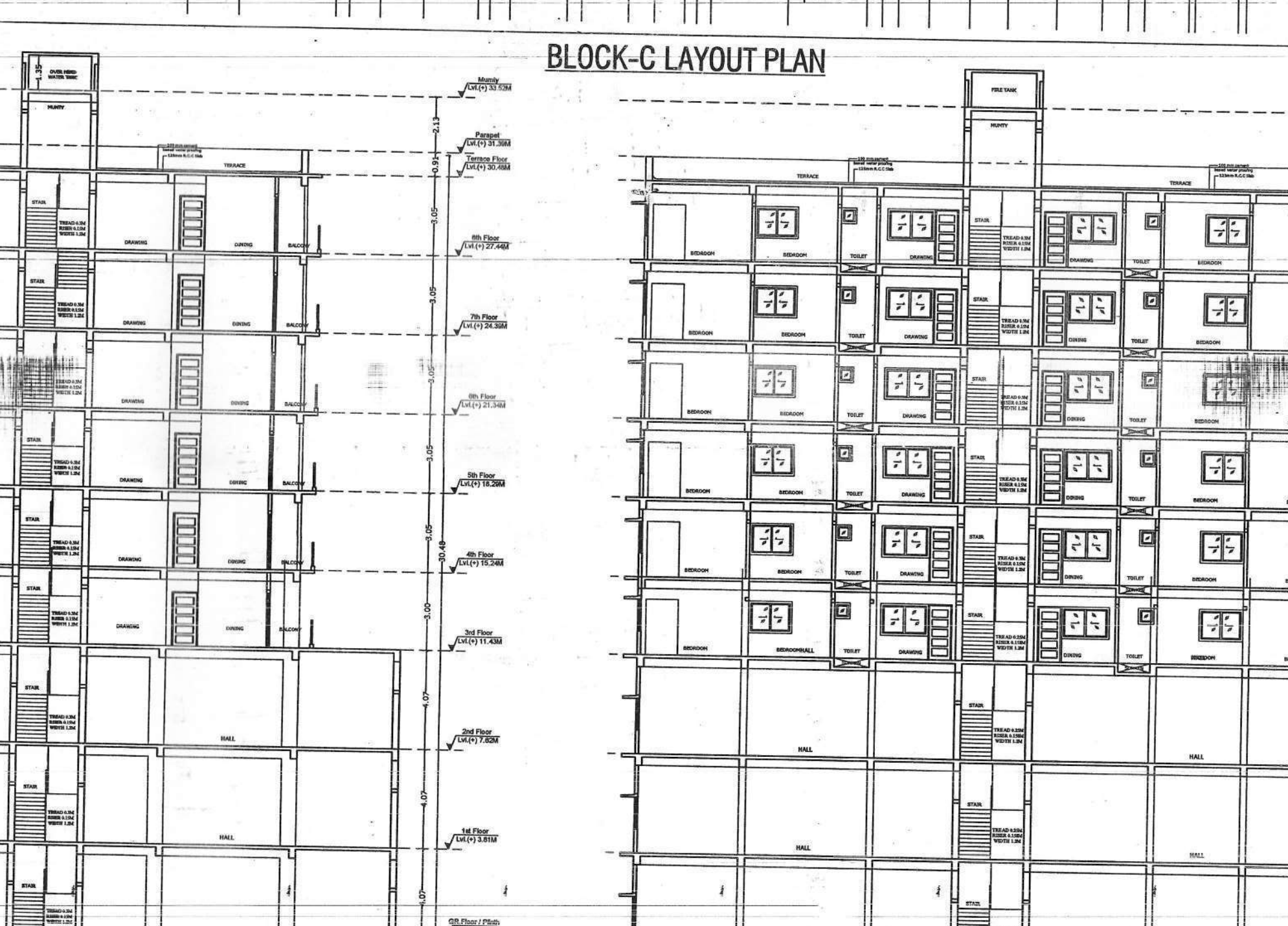
BLOCK-C LAYOUT PLAN



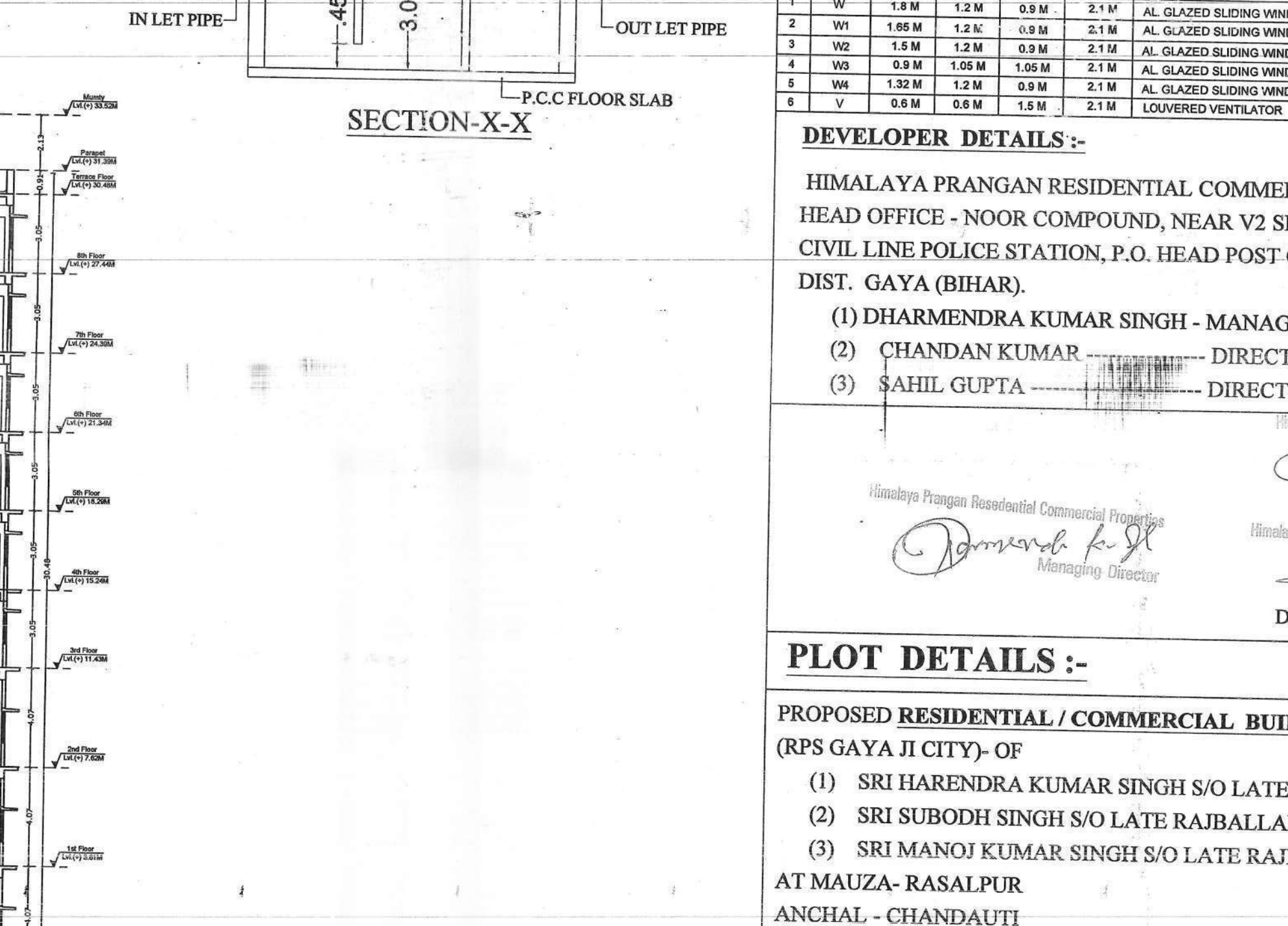
LEFT SIDE ELEVATION



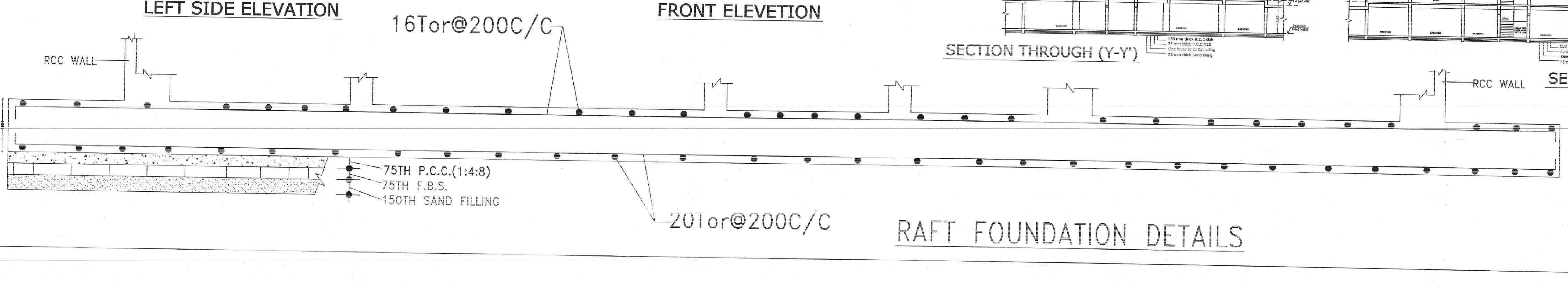
FRONT ELEVATION



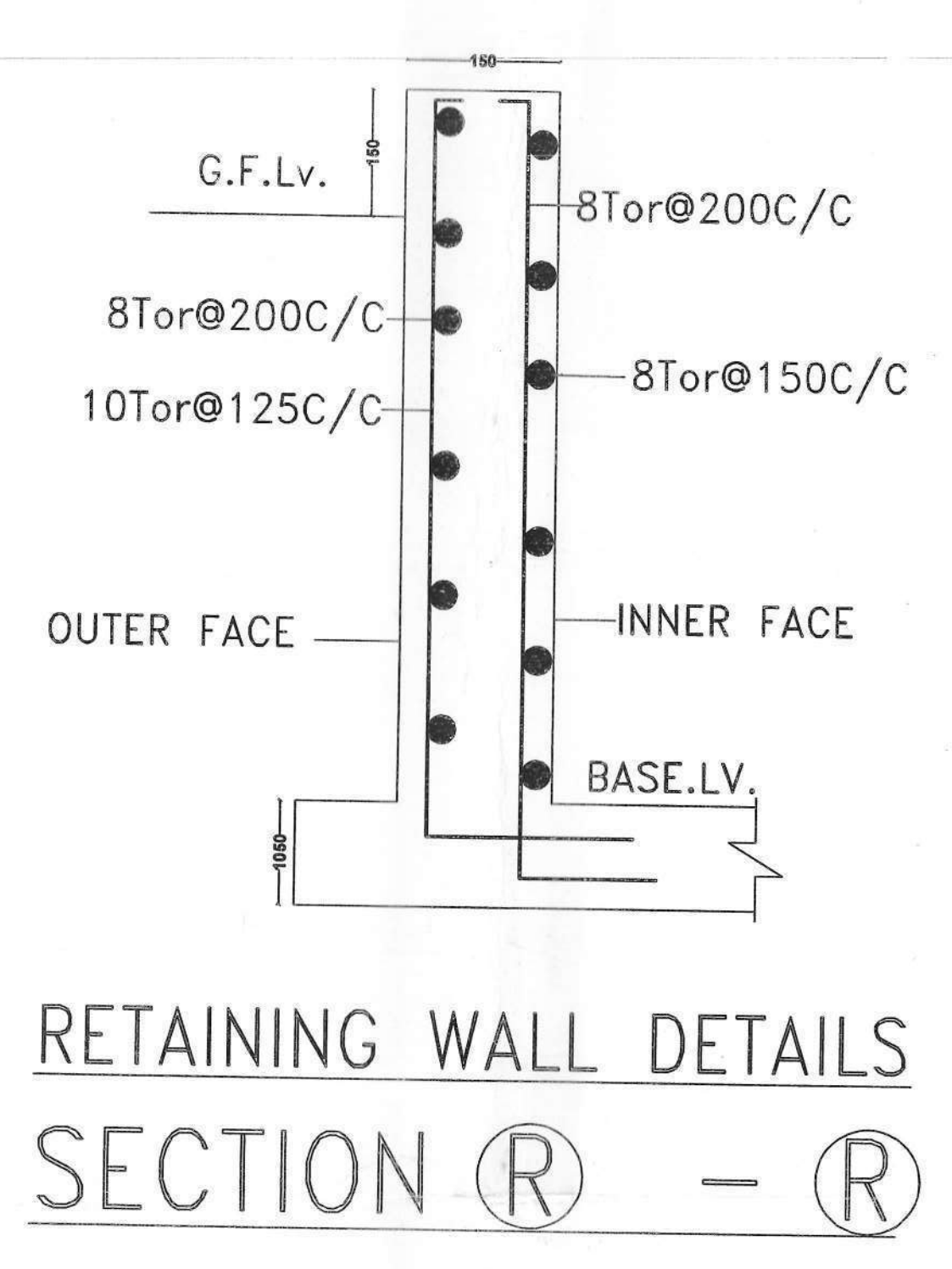
SECTION THROUGH (Y-Y)



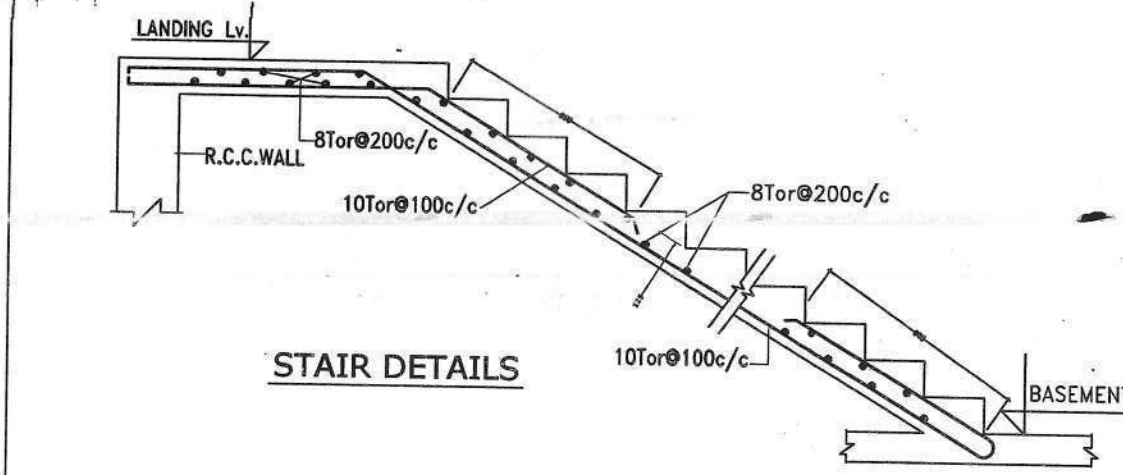
SECTION THROUGH (X-X)



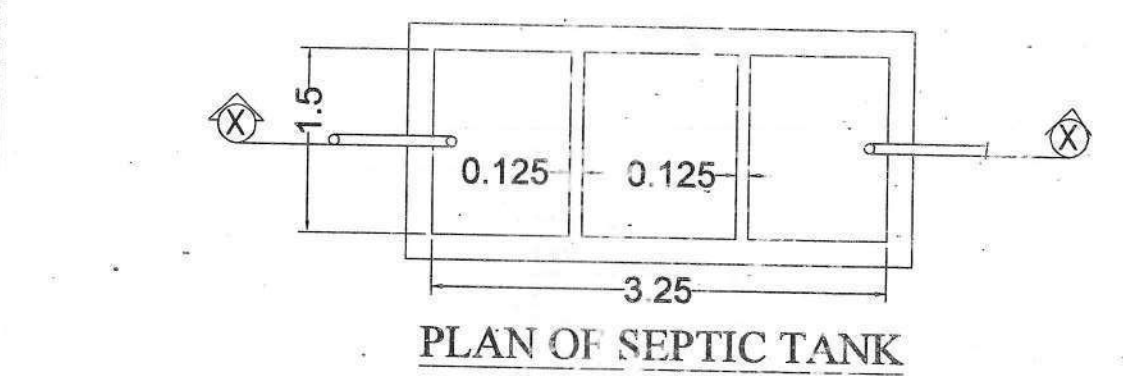
RAFT FOUNDATION DETAILS



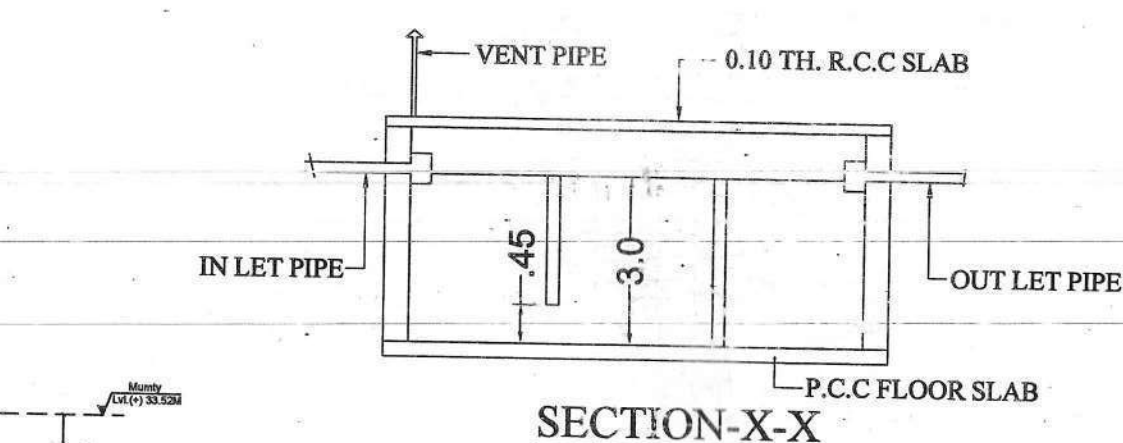
RETAINING WALL DETAILS
SECTION R - R



STAIR DETAILS



PLAN OF SEPTIC TANK



SECTION-X-X

PLOT AREA
TOTAL PLOT AREA AS PER DEED = 9392.11 SQ.MT.

DETAILS OF BLOCK (C)

RESIDENTIAL BLOCK C (BU AREA)
GROUND FLOOR = 674.75sq.mt
1ST TO 2ND FLOOR = 2359.79sq.mt
3RD TO 9TH FLOOR = 6489.91sq.mt
TOTAL BU AREA OF BLOCK C = 9524.36.67 Sq.mt

WATER TANK CALCULATION
POPULATION DENSITY
TAKING HOUSE HOLD SIZE = 6 PERSON/FLAT
ACCORDING TO N.B.C. WATER REQUIREMENT :-
135L/HEAD/DAY FOR RESIDENTIAL
NUMBER OF PERSON (BLOCK A-1) = 6x20 = 120
SO, WATER REQUIREMENT = 135x120 = 16,200 Ltrs. = 16.20 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-1
= 2.51x5.23x1.35 = 17.72 Cum = 17,721 Ltrs.
NUMBER OF PERSON (BLOCK A-2) = 6x36 = 216
SO, WATER REQUIREMENT = 135x216 = 29,160 Ltrs. = 29.16 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-2
= 2.51x5.26x1.2 = 15.75 Cum = 15,750 Ltrs.
NUMBER OF PERSON (BLOCK A-3) = 6x48 = 288
SO, WATER REQUIREMENT = 135x288 = 38,880 Ltrs. = 38.88 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-3
= 2.51x5.33x1.2 = 16.05 Cum = 16,050 Ltrs.
NUMBER OF PERSON (BLOCK B) = 6x78 = 468
SO, WATER REQUIREMENT = 135x468 = 63,180 Ltrs. = 63.18 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-4
= 2.51x5.23x1.2 = 15.75 Cum = 15,750 Ltrs.
NUMBER OF PERSON (BLOCK C) = 6x72 = 432
SO, WATER REQUIREMENT = 135x432 = 58,320 Ltrs. = 58.32 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-5
= 2.51x5.23x1.35 = 17.72 Cum = 17,720 Ltrs.
NUMBER OF PERSON (BLOCK D) = 6x72 = 432
SO, WATER REQUIREMENT = 135x432 = 58,320 Ltrs. = 58.32 Cum
PROVIDED TANK CAPACITY - DOMESTIC
DOMESTIC OVER HEAD TANK-6
= 2.51x4.83x1.35 = 16.36 Cum = 16,360 Ltrs.
TOTAL = (17.72+29.16+16.05+15.75+17.72+16.36) Cum = 109.77 Cum

GENERAL SPECIFICATION					
DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	REMARKS	REMARKS	REMARKS
D1	1.8M	2.1M	WOODEN FLUSH DOOR		
D2	1.8M	2.1M	WOODEN FLUSH DOOR		
D3	1.8M	2.1M	WOODEN FLUSH DOOR		
D4	1.8M	2.1M	WOODEN FLUSH DOOR		
D5	1.8M	2.1M	WOODEN FLUSH DOOR		
D6	1.8M	2.1M	WOODEN FLUSH DOOR		
D7	1.8M	2.1M	WOODEN FLUSH DOOR		
D8	1.8M	2.1M	WOODEN FLUSH DOOR		
D9	1.8M	2.1M	WOODEN FLUSH DOOR		
D10	1.8M	2.1M	WOODEN FLUSH DOOR		

WINDOW SCHEDULE					
MARK	WIDTH	HEIGHT	REMARKS	REMARKS	REMARKS
W1	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W2	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W3	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W4	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W5	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W6	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W7	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W8	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W9	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		
W10	1.8M	1.2M	AL. GLAZED SLIDING WINDOW		

DEVELOPER DETAILS:-
HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES,
HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF
CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES
DIST. GAYA (BIHAR).
(1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR
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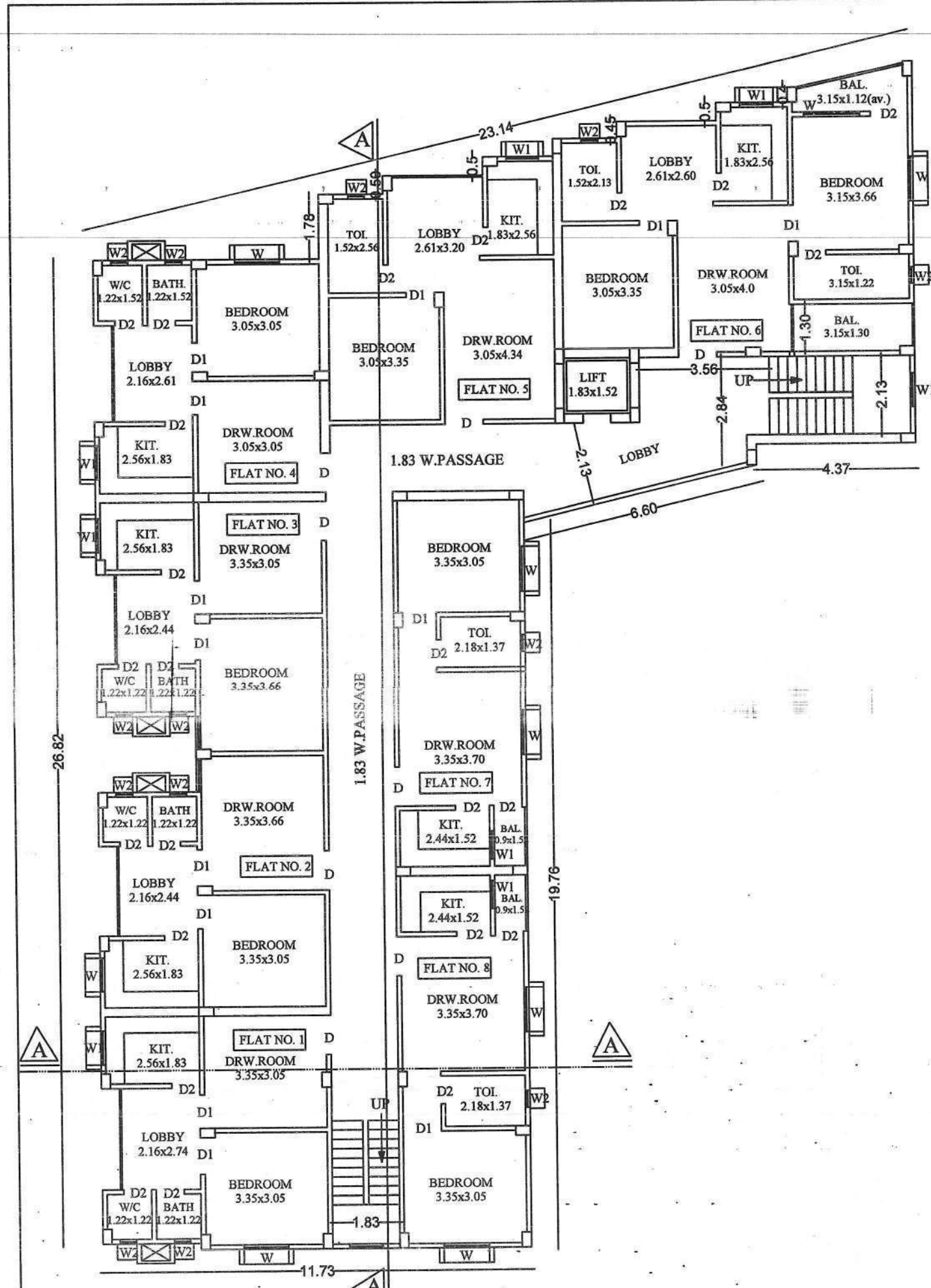
PLOT DETAILS:-
PROPOSED RESIDENTIAL / COMMERCIAL BUILDING PLAN
(RPS GAYA II CITY)-OF
(1) SRI HARENDRA KUMAR SINGH S/O LATE RAMJI PRASAD SINGH
(2) SRI SUBODH SINGH S/O LATE RAJBALLABH SINGH
(3) SRI MANOJ KUMAR SINGH S/O LATE RAJBALLABH SINGH
AT MAUZA - RASALPUR
ANCHAL - CHANDAUTI
THANA - RASALPUR, THANA NO. 234
DIST. GAYA
KHATA NO. 454
PLOT NO. 918

OWNER SIGNATURE
Sri. Hary Kumar Sinha
Registered Structural Engineer
(Urban Development & Housing Department)
Reg. No. - BR/UDH/SE/23-0173

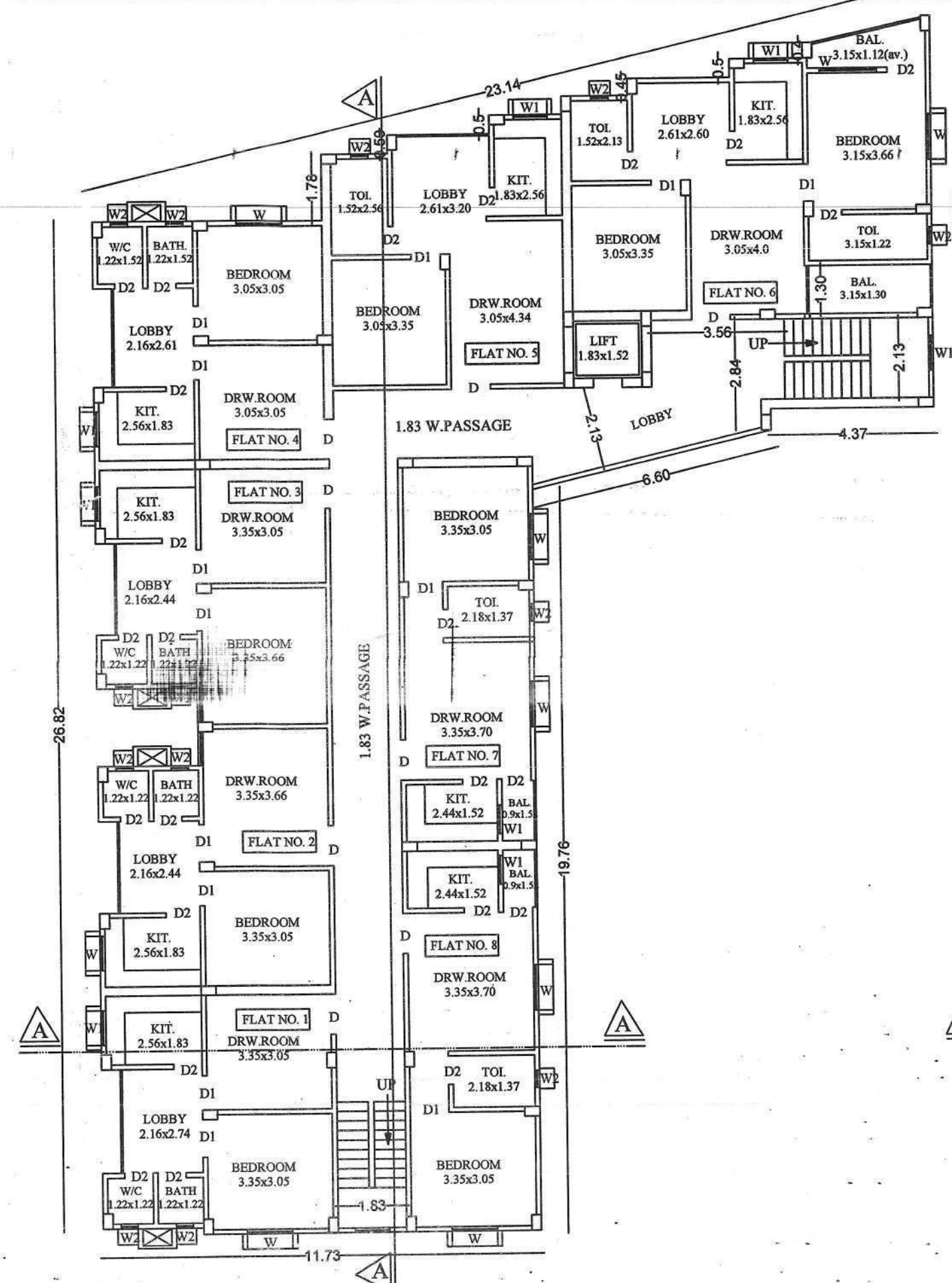
ARCHITECT SIGNATURE
Sri. Hary Kumar Sinha
Registered Structural Engineer
(Urban Development & Housing Department)
Reg. No. - BR/UDH/SE/23-0173

STRUCTURAL ENGINEER SIGNATURE

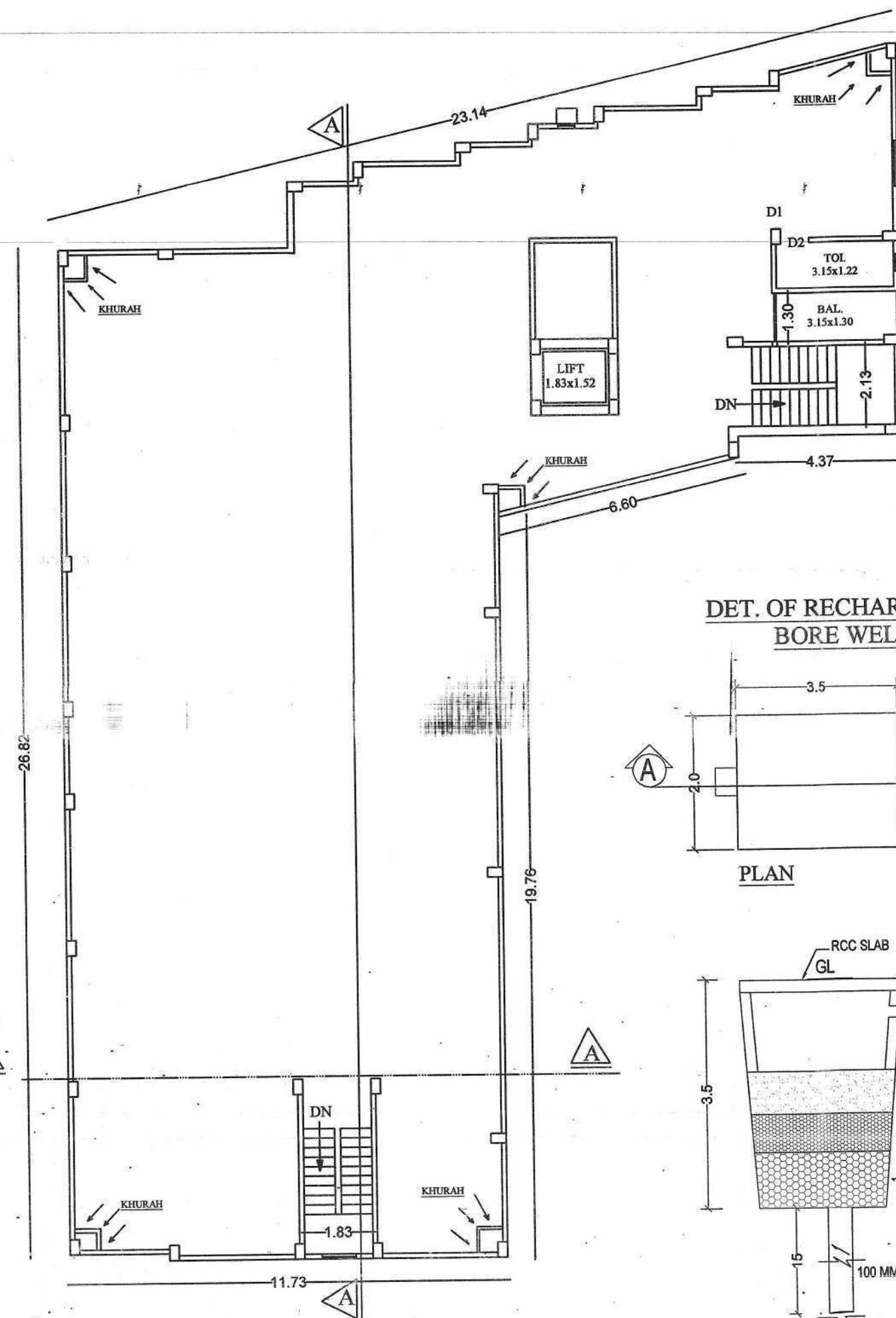
NOTES:-
1. ALL DIMENSIONS ARE IN MM NOTED OTHERWISE
2. ALL DIMENSIONS ARE IN READ NOT TO BE MEASURED
3. T INDICATES TOP STEEL YIELD STRENGTH 500 N/sq.mm.
4. ALL CONC MIX M20 UNLESS OTHERWISE SPECIFIED
5. ALL CONCRETE SHALL BE MACHINE MIXED AND MACHINE VIBRATED.
6. CLEAR COVER TO MAIN STEEL 40 MM IN COL. AND 50 MM IN RAFT SLAB
7. TOP REINFORCEMENT IN SLAB IS SHOWN THUS -----
8. BOTTOM REINFORCEMENT IN SLAB IS SHOWN THUS - - - - -
9. ASSUME BEARING CAPACITY OF SOIL AS 120 KN/M2
10. RAFT SLAB TH= 1050 EXCEPT MARKED
11. FOR COLUMN SCHEDULE REFER COLUMN DETAILS



GROUND FLOOR PLAN
SCALE 1:100

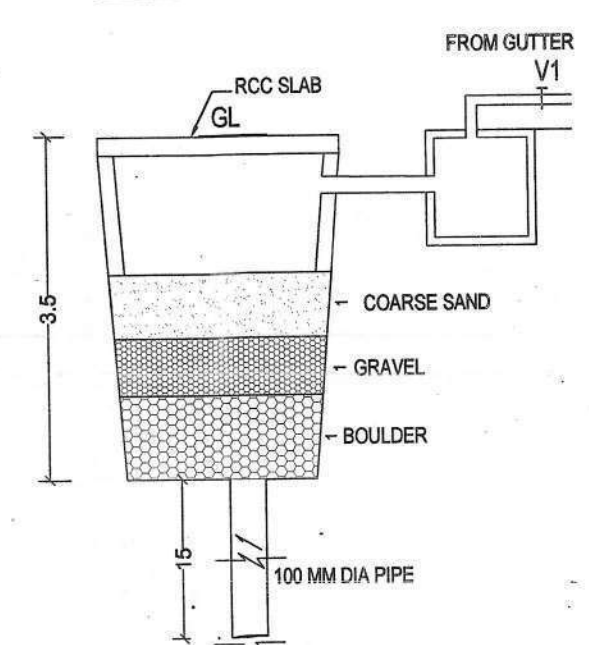
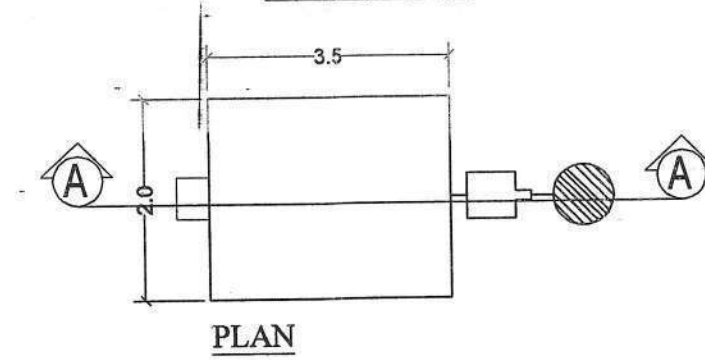


1ST, 2ND AND 3RD FLOOR PLAN
SCALE 1:100



TERRACE FLOOR PLAN
SCALE 1:100

DET. OF RECHARGEABLE
BORE WELL



SECTION-AA

WATER HARVESTING CALCULATION
MAXIMUM TERRACE AREA = 12990.54 sq.m
RAIN WATER SUMP REQUIRED
= 6 cum./100 sq.m ROOF AREA
SO, TOTAL REQUIRED CAPACITY OF TANK
= 0.06 x 12990.54 = 14.91 cum.
= 3.50 x 2.00 x 3.5 = 24.50 cum.

GENERAL SPECIFICATION

- 1.) FOUNDATION :- R. C. C. FOUNDATION AS PER STRUCTURE DESIGN.
- 2.) SUPERSTRUCTURE :- R. C. C. FRAMED STRUCTURE AS PER STRUCTURE DESIGN.
- 3.) BRICKWORK :- 250 MM TH. & 125 MM TH. 1 ST CLASS BRICKWORK IN C.M. OF 1:6 & 1:5.
- 4.) FLOORING :- FLOOR TILES(VITRIFIED) IN ALL AREA.
- 5.) WALL FINISH :-
INTERNAL :- ALL INTERNAL SURFACE SHALL BE PAINTED WITH CEMENT PRIMER OVER FLOAT FINISH OF P.O.P.
EXTERNAL :- ALL EXTERNAL SURFACE SHALL BE PAINTED WITH TEXTURE PAINT OVER A SURFACE OF EXTERIOR GRADE PRIMER.
- 6.) DOOR :-
(I) FRAME :- 65X100 TH. SAL WOOD DOOR FRAME
(II) SHUTTER :- 35 MM THICK SOLID CORE FLUSH DOOR OF I.S.I. MARK AS PER DESIGN
- 7.) WINDOW :-
(I) FRAME :- 65X100 TH. SAL WOOD/ALUMINIUM WINDOW FRAME
(II) SHUTTER :- FULLY GLAZED HARD WOOD/ALUMINIUM WINDOW SHUTTER AS PER DESIGN
- 8.) TOILET :-
(I) FLOORING :- CERAMIC TILE FLOORING
(II) WALLS :- CERAMIC TILES DADO UP TO 2100 MM HT.
(III) SANITARYWARE :- WHITE GLAZED VITREOUS SANITARY WARE OF I.S.I. MARK
(IV) FITTING :- CHROMIUM PLATED C.P. FITTING OF I.S.I. MARK
- 9.) ELECTRICAL :-
(I) ALL INTERNAL WIRING IN CONCEAL CONDUITS WITH COPPER CONDUCTOR
(II) ALL ELECTRICAL MODULAR SWITCHES OF I.S.I. MARK
- 10.) WATER SUPPLY :- ROUND THE CLOCK WATER SUPPLY BY MEANS OF OWN BORING & OVER HEAD TANK

DOOR SCHEDULE

SL. No.	MARK	WIDTH	HEIGHT	SILL HEIGHT	UNITEL HEIGHT	REMARKS
1	D	1.07	2.13	0.0	2.13	WOODEN FLUSH DOOR
2	D1	1.0	2.13	0.0	2.13	WOODEN FLUSH DOOR
3	D2	0.76	2.13	0.0	2.13	WOODEN FLUSH DOOR

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SILL HEIGHT	UNITEL HEIGHT	REMARKS
W	1.52	1.22	0.91	2.13	AL GLAZED SLIDING WINDOW
W1	0.91	1.06	1.07	2.13	AL GLAZED SLIDING WINDOW
W2	0.45	1.06	1.07	2.13	LOUVERED VENTILATOR

PROPOSED RESIDENTIAL BUILDING BLOCK - A(G+3), BLOCK - B(G+3) AND BLOCK - C(G+4) FOR EWS OF SRI MANOJ KUMAR SINGH SON OF LATE RAJ BALAV SINGH AT GRAM RASALPUR, THANA CHANDAUTI, THANA NO. 234 DIST. GAYA. KHATA NO. 585(NEW) PLOT NO. 1426(NEW) AND 1424(NEW).

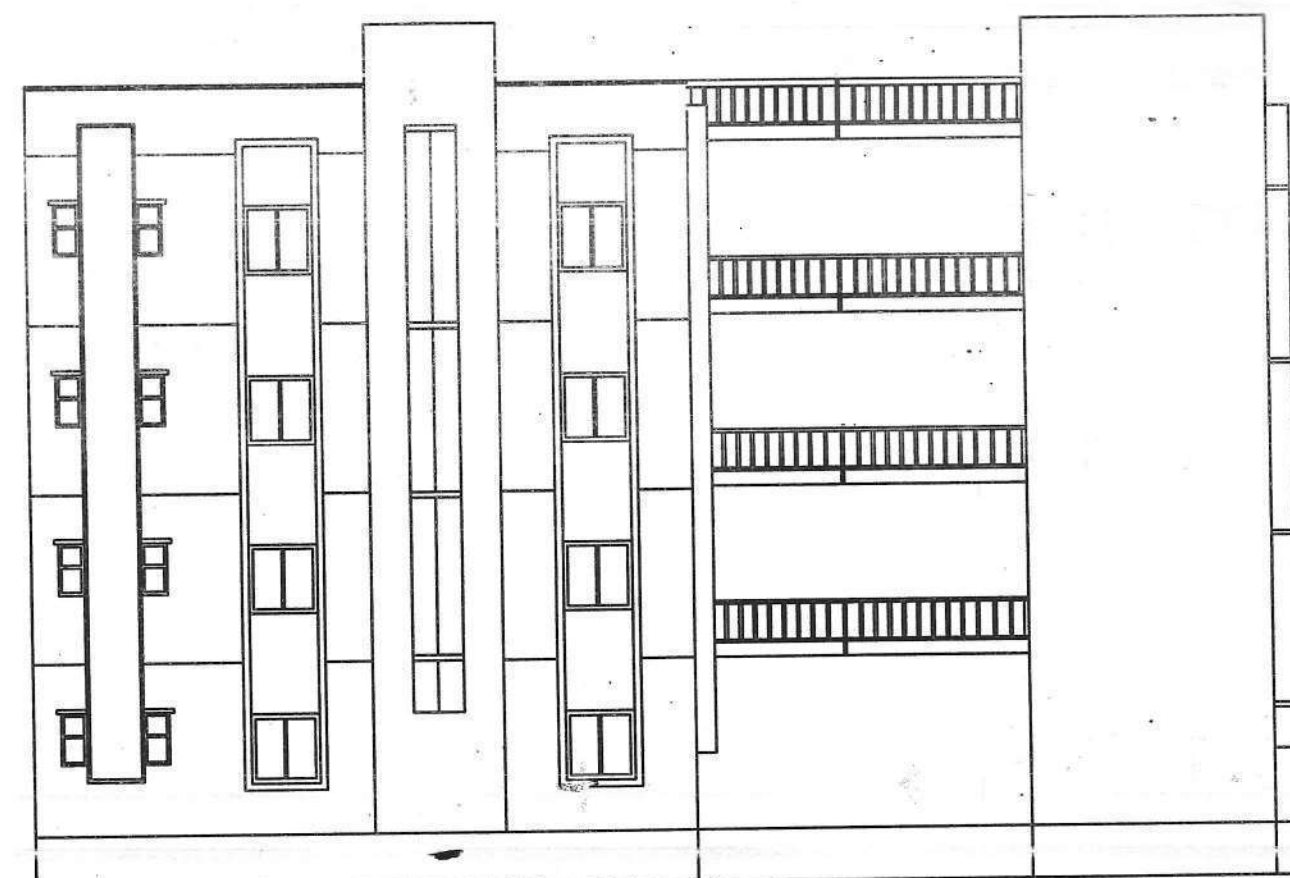
DEVELOPER DETAILS :-

HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES,
HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES DIST. GAYA (BHAR).

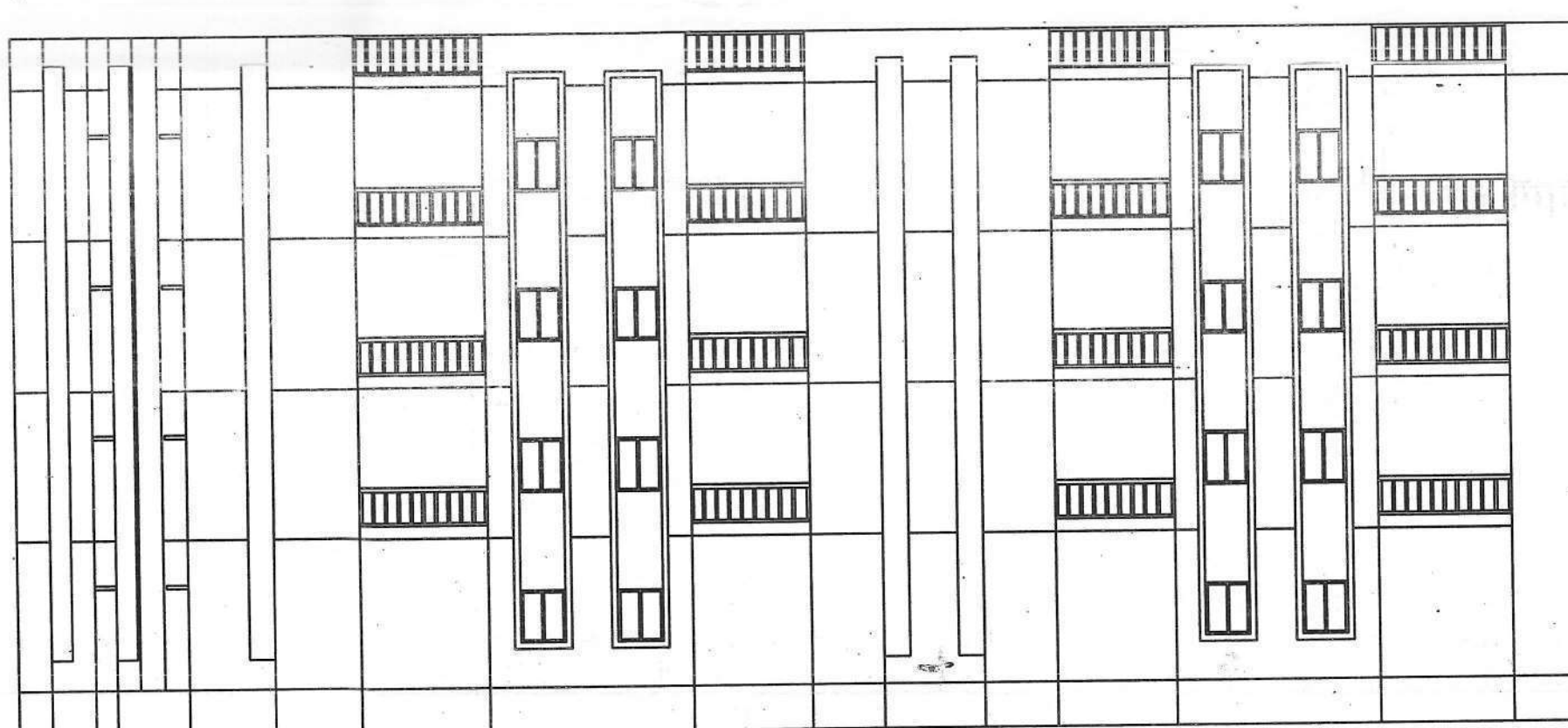
(1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR
(2) CHANDAN KUMAR - DIRECTOR
(3) SAHIL GUPTA - DIRECTOR

SHEET NO. 02/03

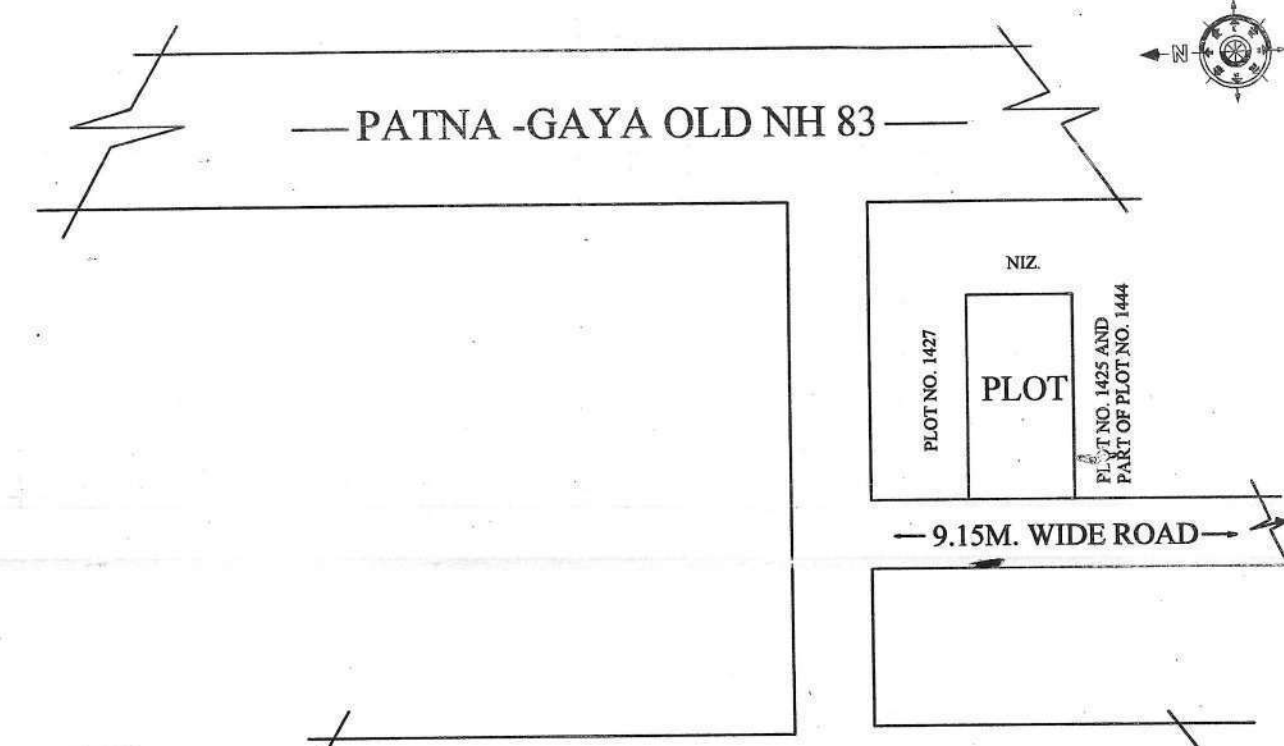
SCALE 1:100/200



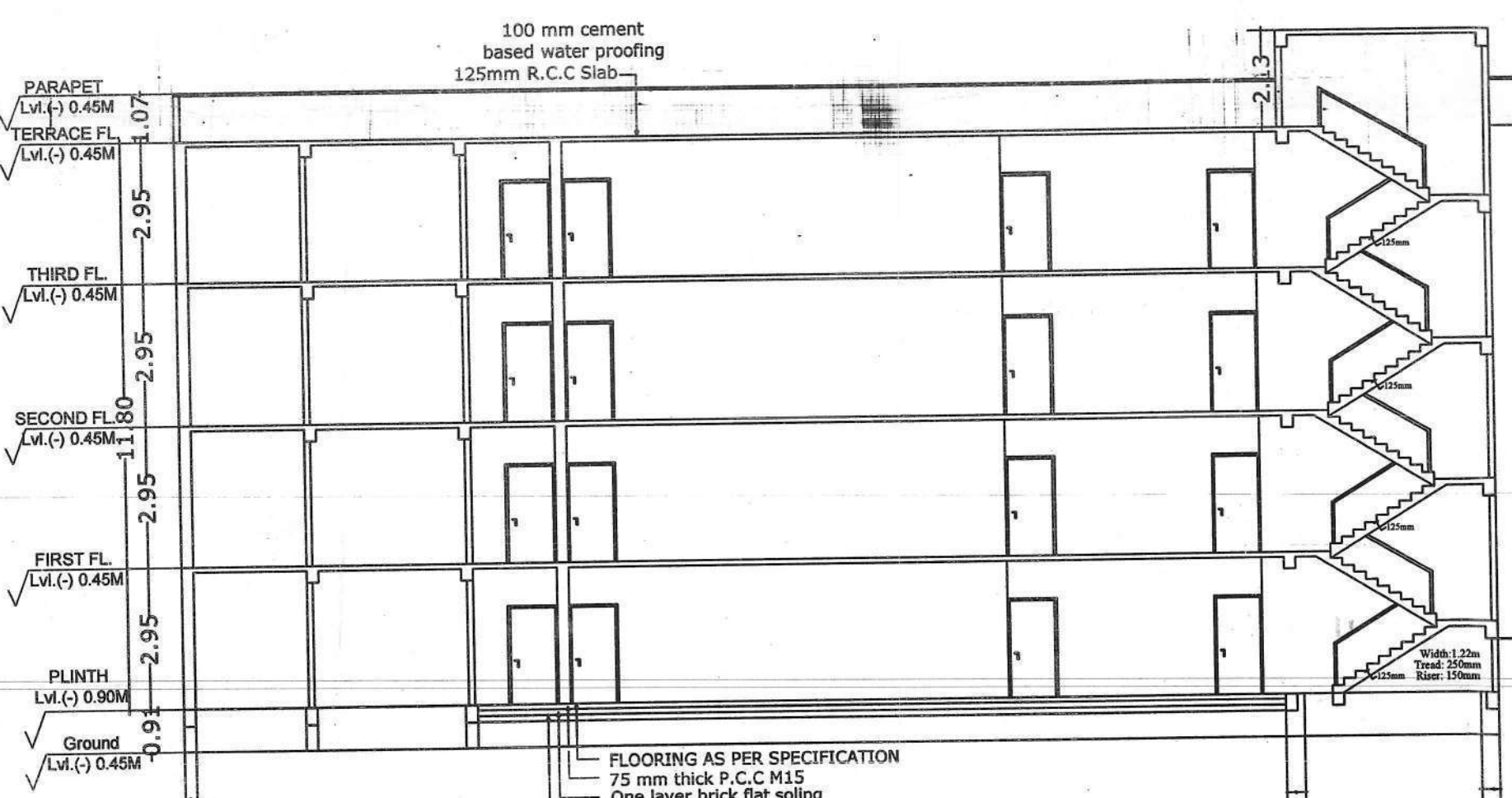
FRONT ELEVATION
SCALE 1:100



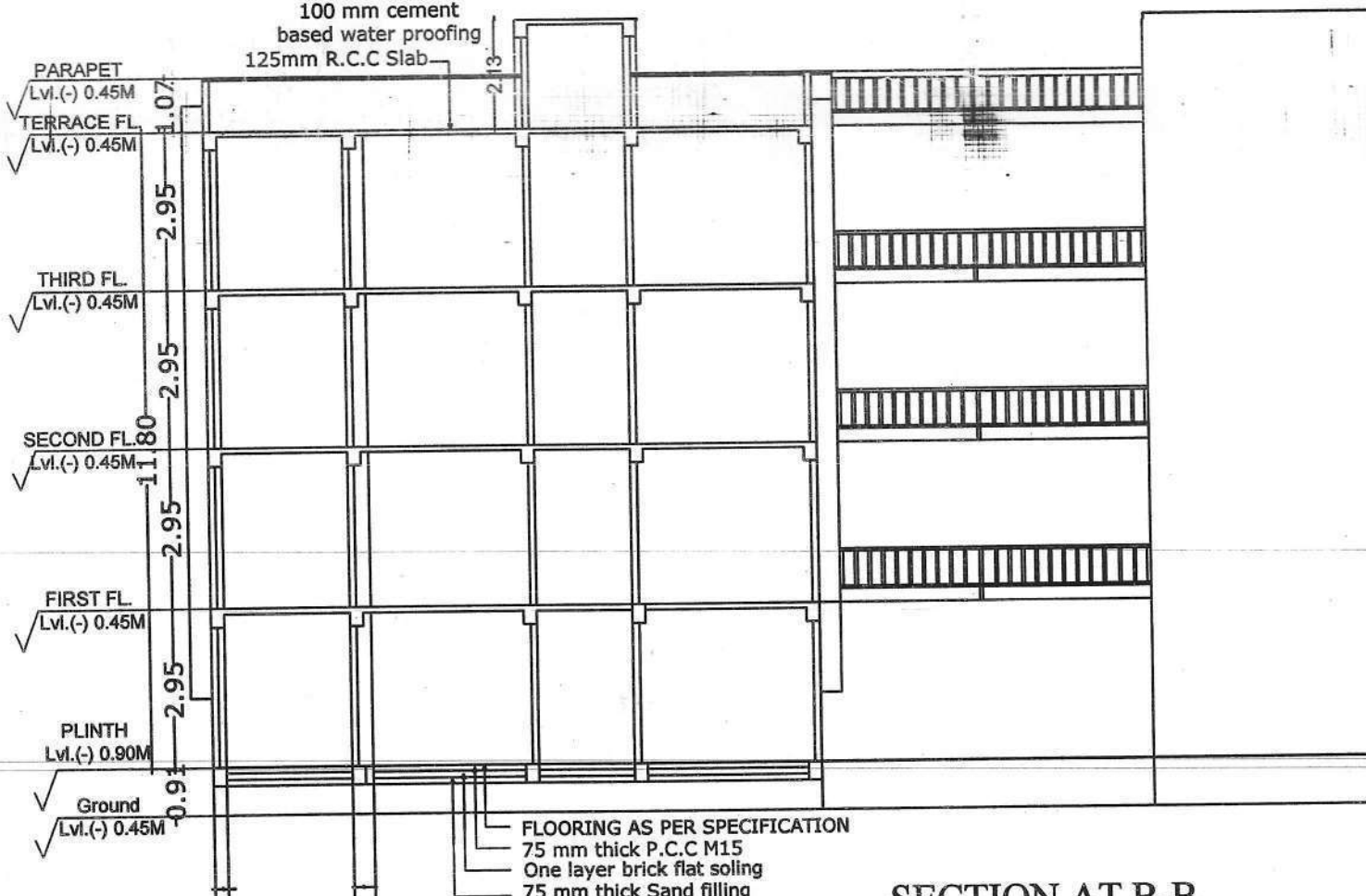
NORTH SIDE ELEVATION
SCALE 1:100



LOCATION PLAN



SECTION AT A-A
SCALE 1:100



SECTION AT B-B
SCALE 1:100

BLOCK - B (G+3)

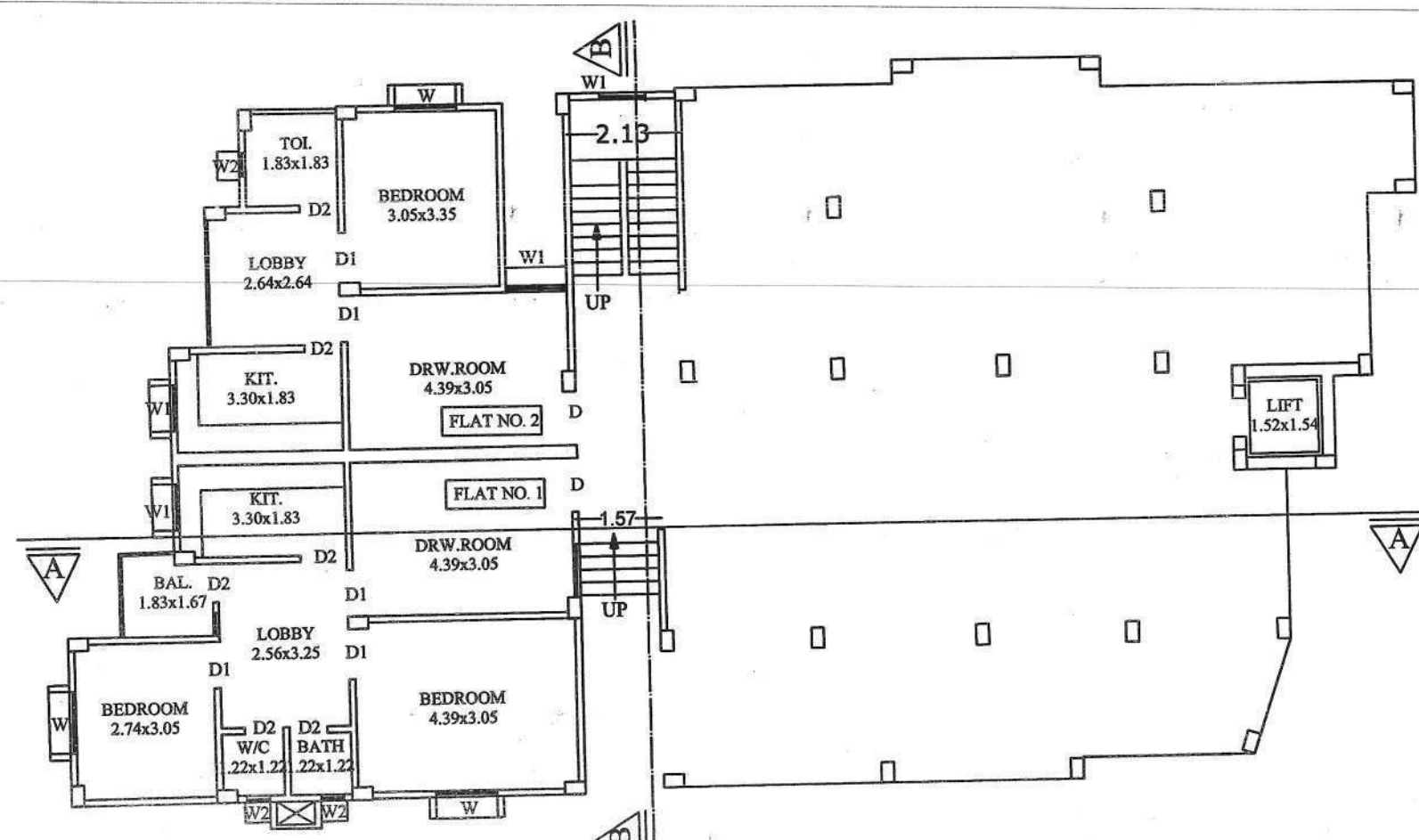
SIGNATURE OF OWNER

SIGNATURE OF DEVELOPER

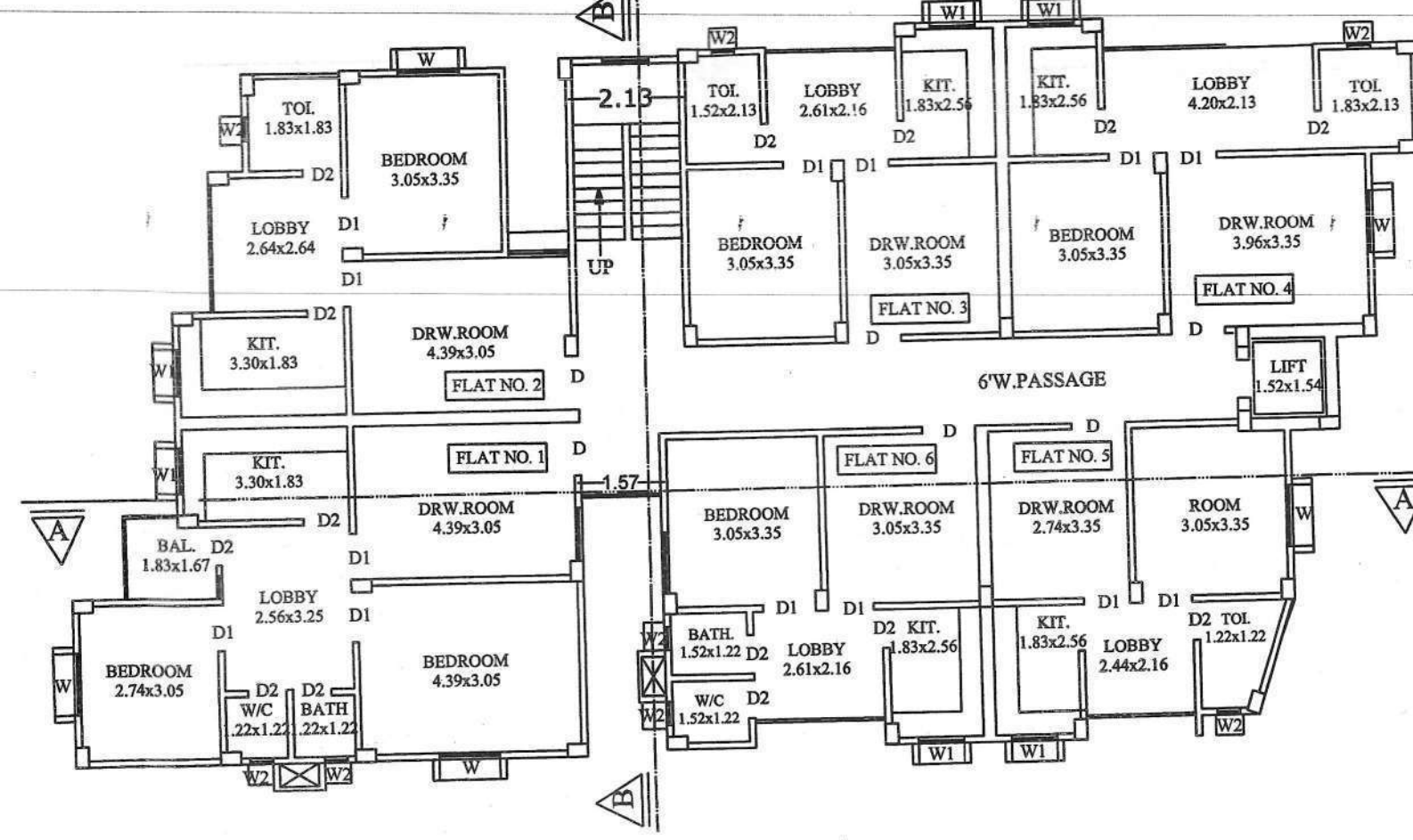
SIGNATURE OF ARCHITECT

Dr. Bijay Kumar Sinha
Registered Structural Engineer
(Urban Development & Housing Department)
Reg. No. BR/UDHO/SE/23-0173

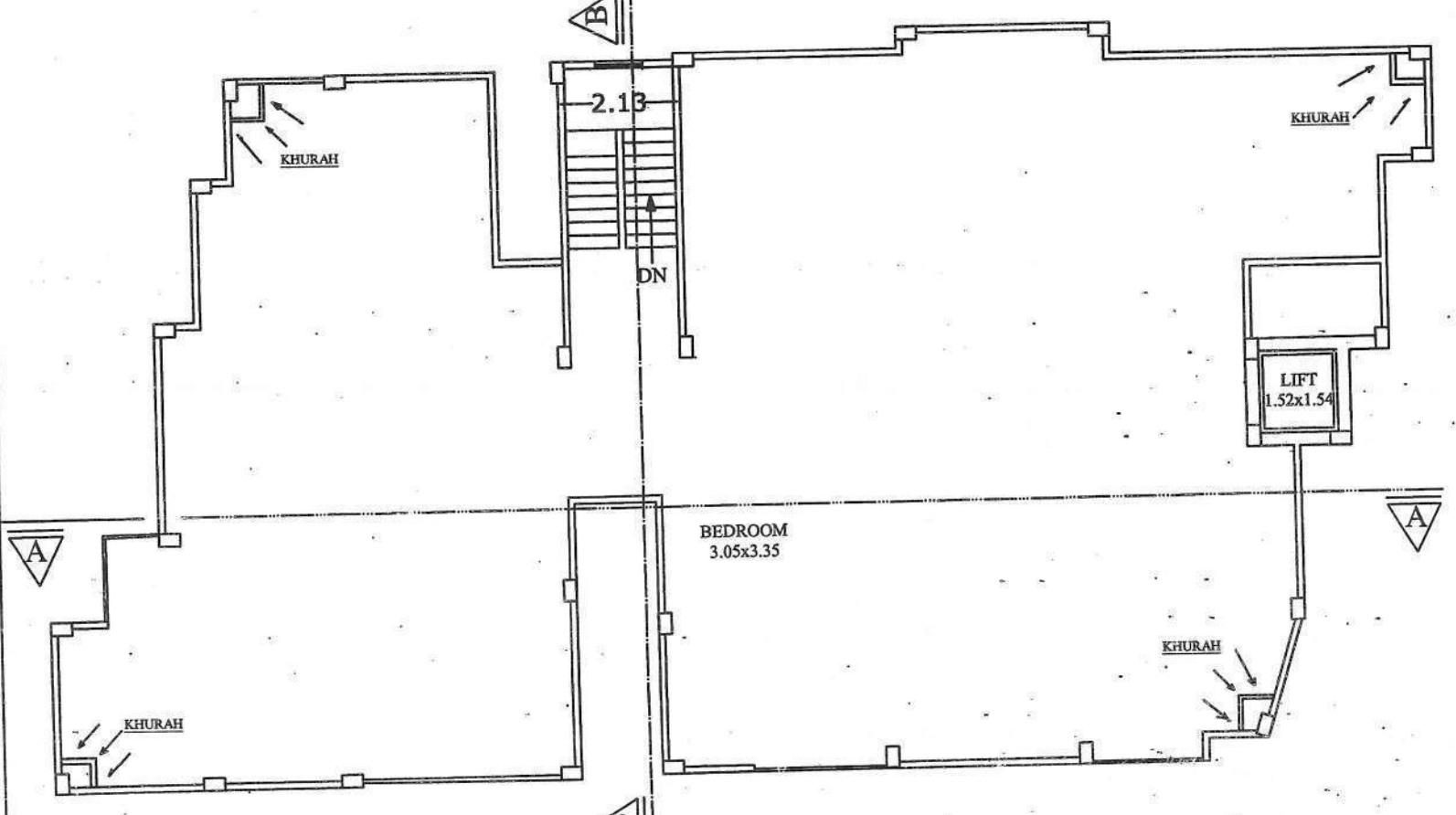
SIGNATURE OF STRUCTURAL ENGR.



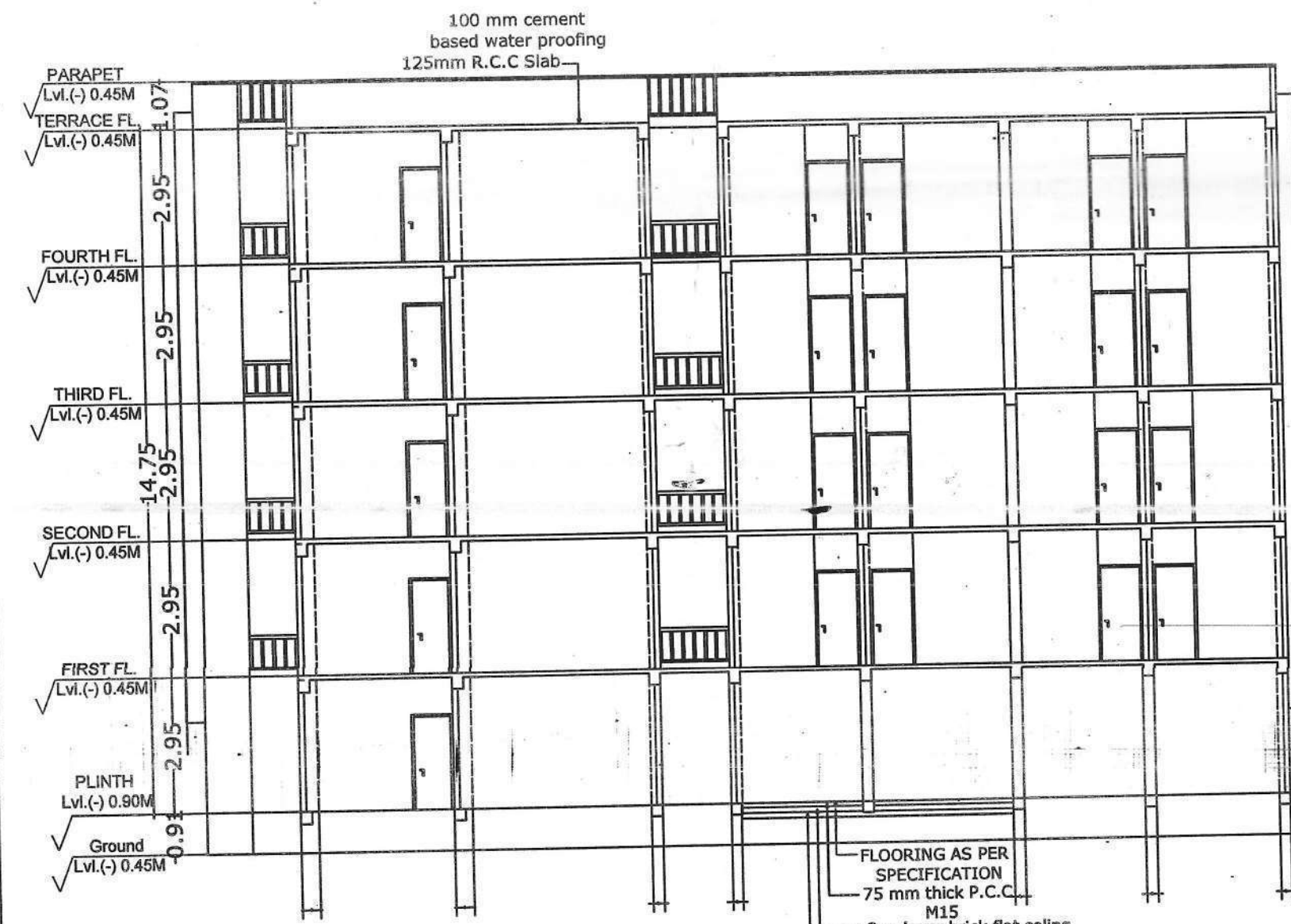
GROUND FLOOR PLAN
SCALE 1:100



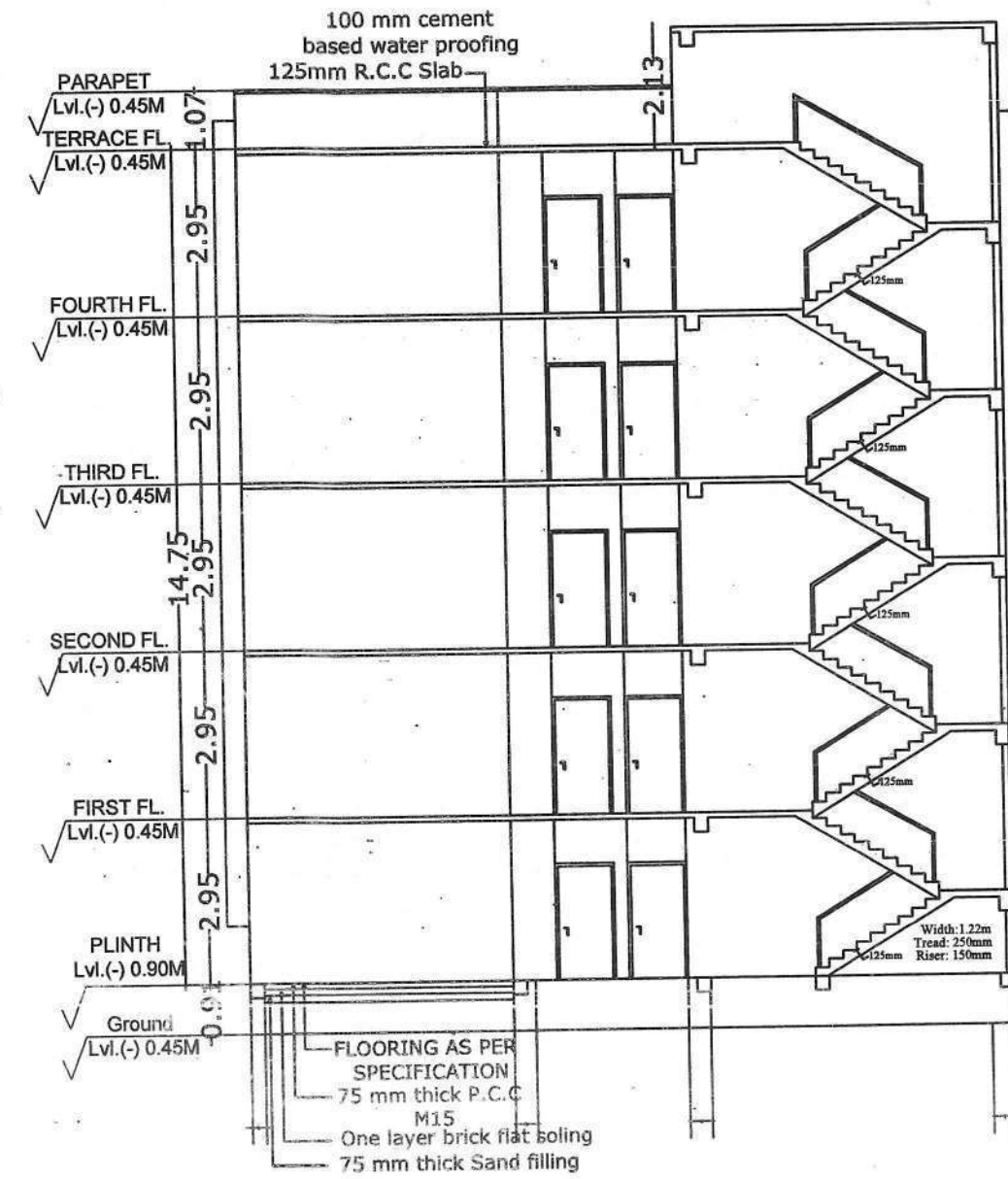
1ST, 2ND, 3RD AND 4TH FLOOR PLAN
SCALE 1:100



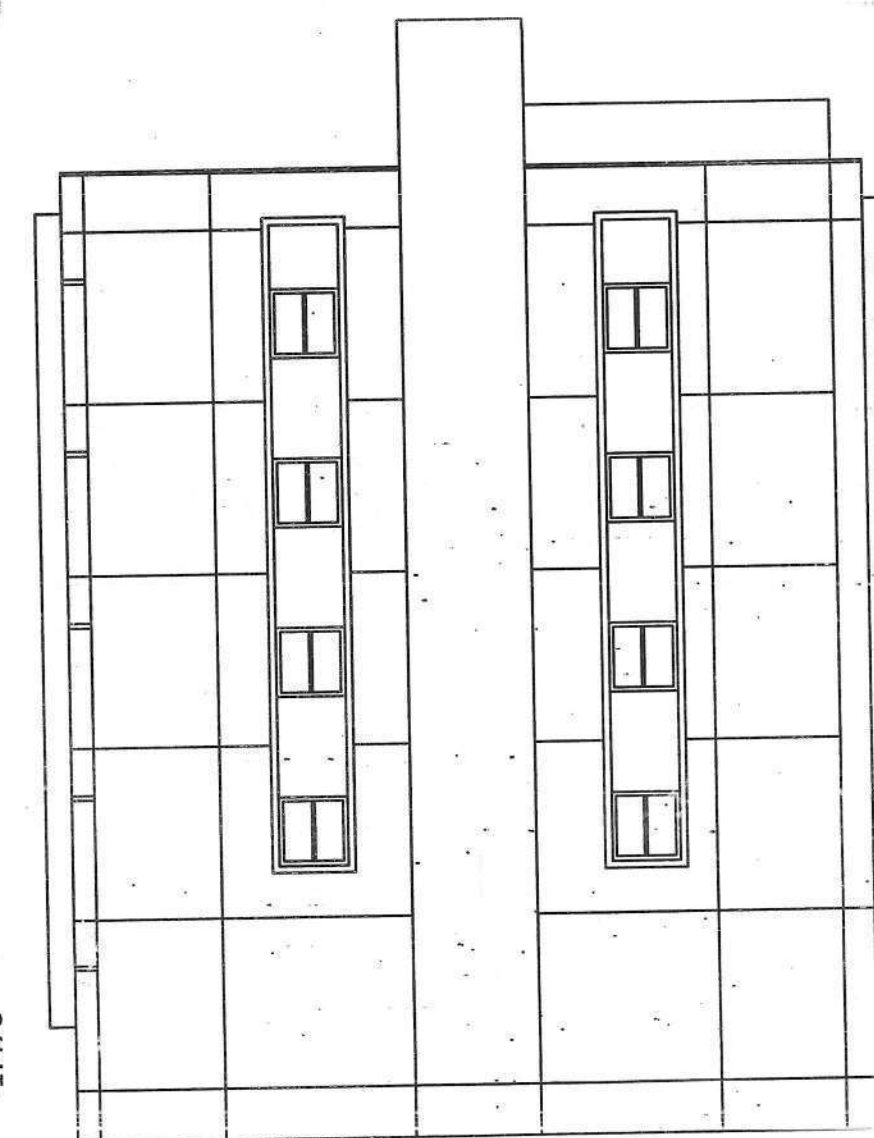
TERRACE FLOOR PLAN
SCALE 1:100



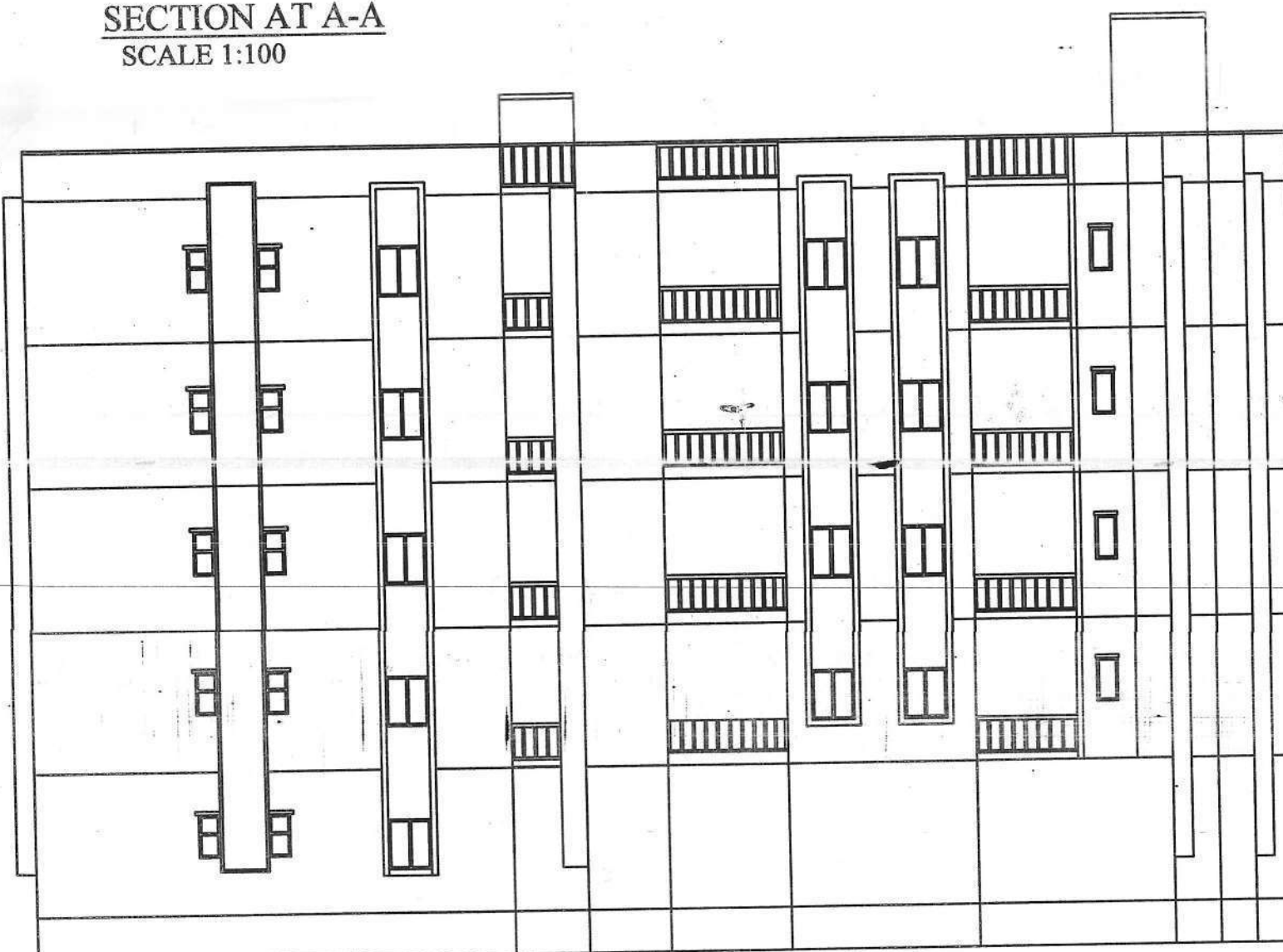
SECTION AT B-B
SCALE 1:100



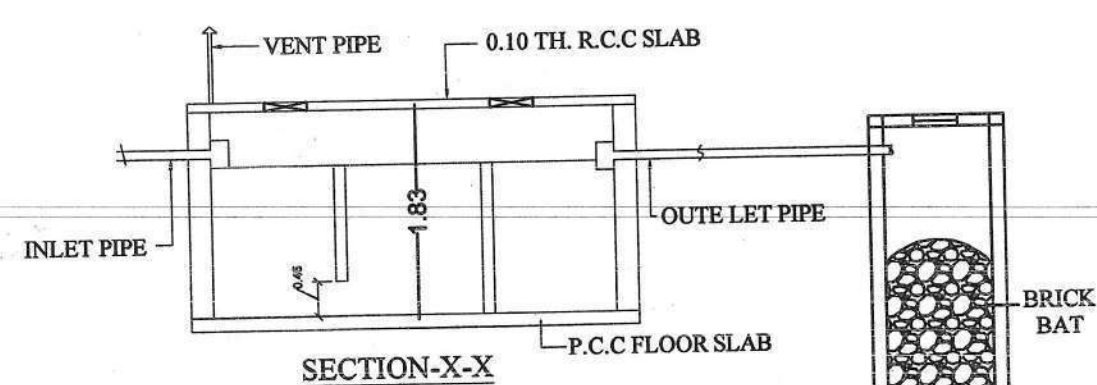
SECTION AT A-A
SCALE 1:100



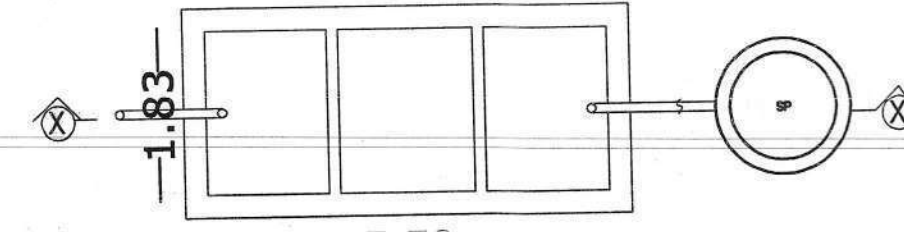
FRONT ELEVATION
SCALE 1:100



NORTH SIDE ELEVATION
SCALE 1:100

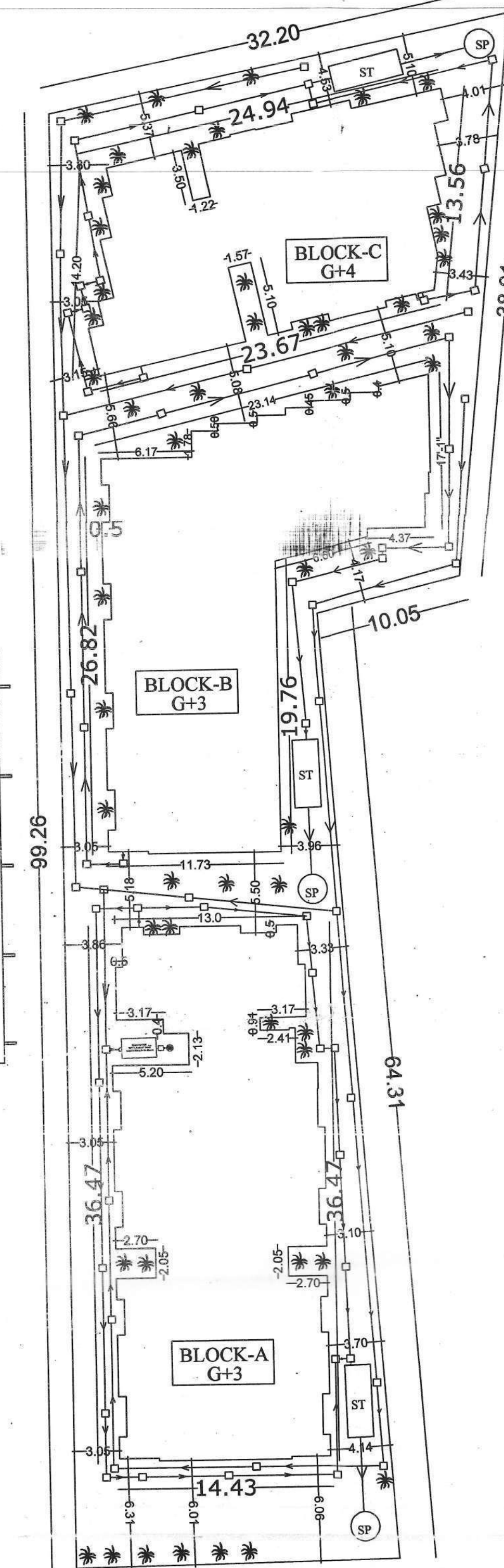


SECTION-X-X



PLAN OF SEPTIC TANK

SEPTIC TANK CALCULATION
TOTAL NOS. OF PERSONS = 490 PERSONS
CAPACITY OF SEPTIC TANK REQUIRED
@ 4.0 CFT/HEAD/DAY
= 4.0 x 490 = 1960 cft. (55.20 cum)
PROVIDED 3 NO. SEPTIC TANK OF SIZE
= 3 x (5.50 x 1.83 x 1.83) = 3 x 18.42 cum = 55.30 cum.



SITE PLAN
SCALE 1:200

GREEN AREA CALCULATION

REQUIRED GREEN AREA = 10 % OF TOTAL PLOT AREA
= 0.1 x 2429.0 = 242.90 SQMT
TOTAL PLANTATION AREA AS PROVIDED = 254.00 SQMT

BLOCK - C (G+4)

GENERAL SPECIFICATION

- 1.) FOUNDATION :- R. C. C. FOUNDATION AS PER STRUCTURE DESIGN.
- 2.) SUPERSTRUCTURE :- R. C. C. FRAMED STRUCTURE AS PER STRUCTURE DESIGN.
- 3.) BRICKWORK :- 250 MM TH. & 125 MM TH. 1 ST CLASS BRICKWORK IN C.M. OF 1:6 & 1:5.
- 4.) FLOORING :- FLOOR TILES (VITRIFIED) IN ALL AREA.
- 5.) WALL FINISH :-
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EXTERNAL :- ALL EXTERNAL SURFACE SHALL BE PAINTED WITH TEXTURE PAINT OVER A SURFACE OF EXTERIOR GRADE PRIMER.
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(I) FRAME :- 65X100 TH. SAL WOOD DOOR FRAME
(II) SHUTTER :- 35 MM THICK SOLID CORE FLUSH DOOR OF I.S.I. MARK AS PER DESIGN
- 7.) WINDOW :-
(I) FRAME :- 65X100 TH. SAL WOOD/ALUMINIUM WINDOW FRAME
(II) SHUTTER :- FULLY GLAZED HARD WOOD/ALUMINIUM WINDOW SHUTTER AS PER DESIGN
- 8.) TOILET :-
(I) FLOORING :- CERAMIC TILE FLOORING
(II) WALLS :- CERAMIC TILES DADO UP TO 2100 MM HT.
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- 10.) WATER SUPPLY :- ROUND THE CLOCK WATER SUPPLY BY MEANS OF OWN BORING & OVER HEAD TANK

DOOR SCHEDULE

S/L No.	MARK	WIDTH	HEIGHT	SILL HEIGHT	UNTEL HEIGHT	REMARKS
1	D	1.07	2.13	0.0	2.13	WOODEN FLUSH DOOR
2	D1	1.0	2.13	0.0	2.13	WOODEN FLUSH DOOR
3	D2	0.76	2.13	0.0	2.13	WOODEN FLUSH DOOR

WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	SILL HEIGHT	UNTEL HEIGHT	REMARKS
W	1.52	1.22	0.91	2.13	AL GLAZED SLIDING WINDOW
W1	0.91	1.06	1.07	2.13	AL GLAZED SLIDING WINDOW
W2	0.45	1.06	1.07	2.13	VENTILATOR LOUVERED VENTILATOR

PARKING AREA CALCULATION

REQUIRED PARKING AREA
1.25 Sq.m PARKING REQUIRED FOR 1 BIKE = 1.25 Sq.m
PARKING REQUIRED FOR 98 FLATS = 122.50 Sq.m
PARKING AREA AVAILABLE = 188.20 Sq.m
GR. FLOOR AREA (BLOCK-C)
(PARKING AREA)

PROPOSED RESIDENTIAL BUILDING BLOCK - A (G+3), BLOCK - B (G+3) AND BLOCK - C (G+4) FOR EWS OF SRI MANOJ KUMAR SINGH SON OF LATE RAJ BALAV SINGH AT GRAM RASALPUR, THANA CHANDAUTI, THANA NO. 234 DIST. GAYA. KHATA NO. 585 (NEW) PLOT NO. 1426 (NEW) AND 1424 (NEW).

DEVELOPER DETAILS :-

HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES,
HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES DIST. GAYA (BIHAR).
(1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR
(2) CHANDAN KUMAR - DIRECTOR
(3) SAHIL GUPTA - DIRECTOR

SHEET NO. 03/03

SCALE 1:100/200

SIGNATURE OF OWNER

Chandan Kumar
Managing Director

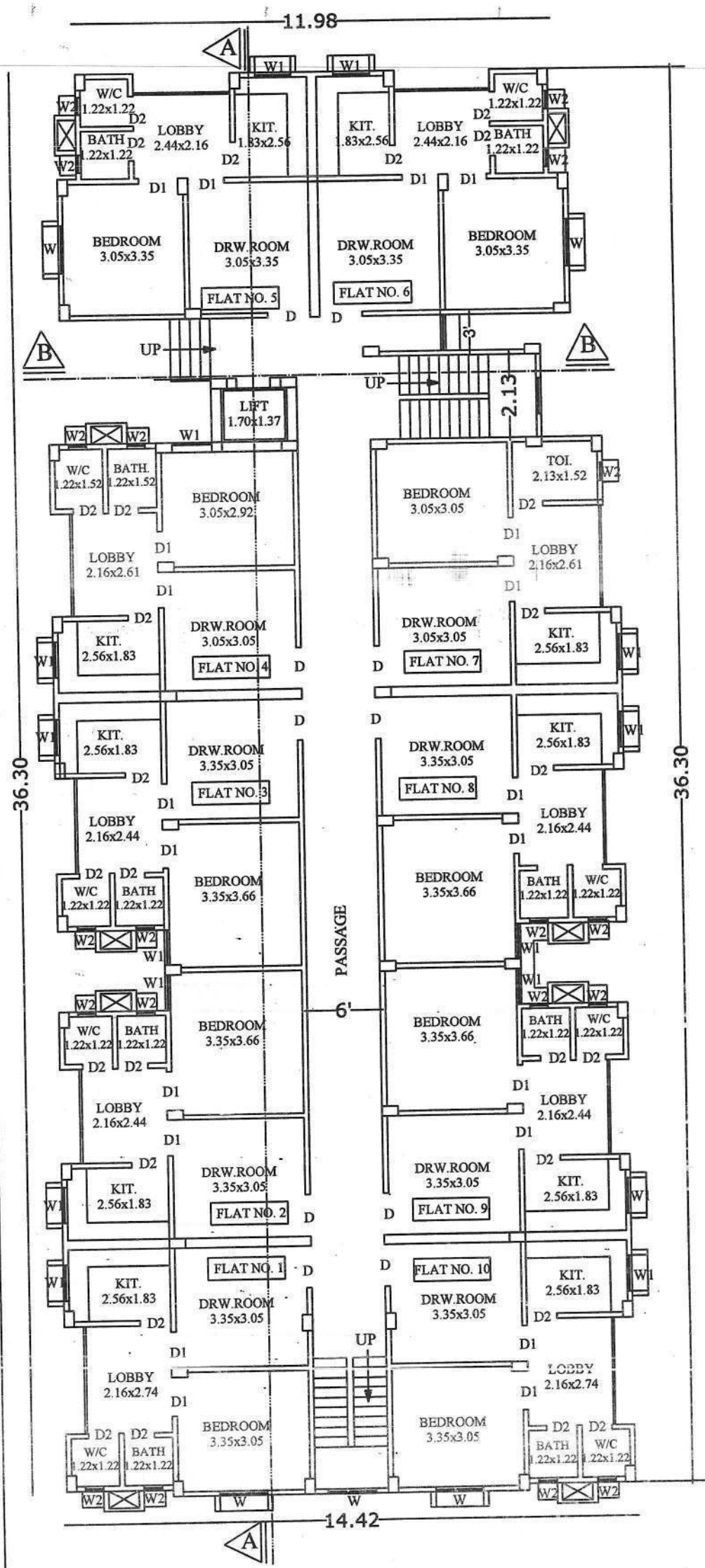
SIGNATURE OF DEVELOPER

Pradyumn Sinha
Registered Structural Engineer
(Urban Development & Housing Dept.)
Reg. No. BR/UDHD/SE/23-0173

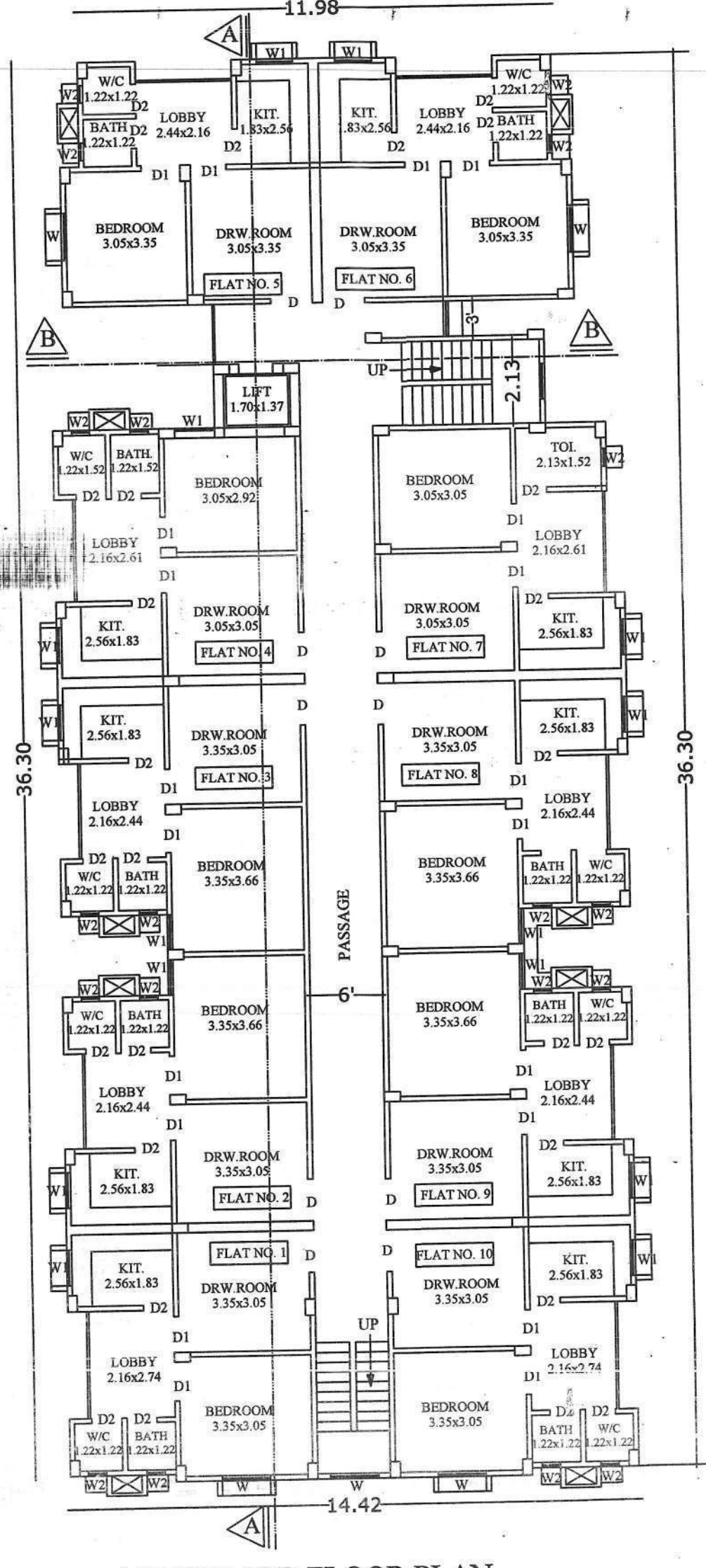
SIGNATURE OF ARCHITECT

Pradyumn Sinha
Registered Structural Engineer
(Urban Development & Housing Dept.)
Reg. No. BR/UDHD/SE/23-0173

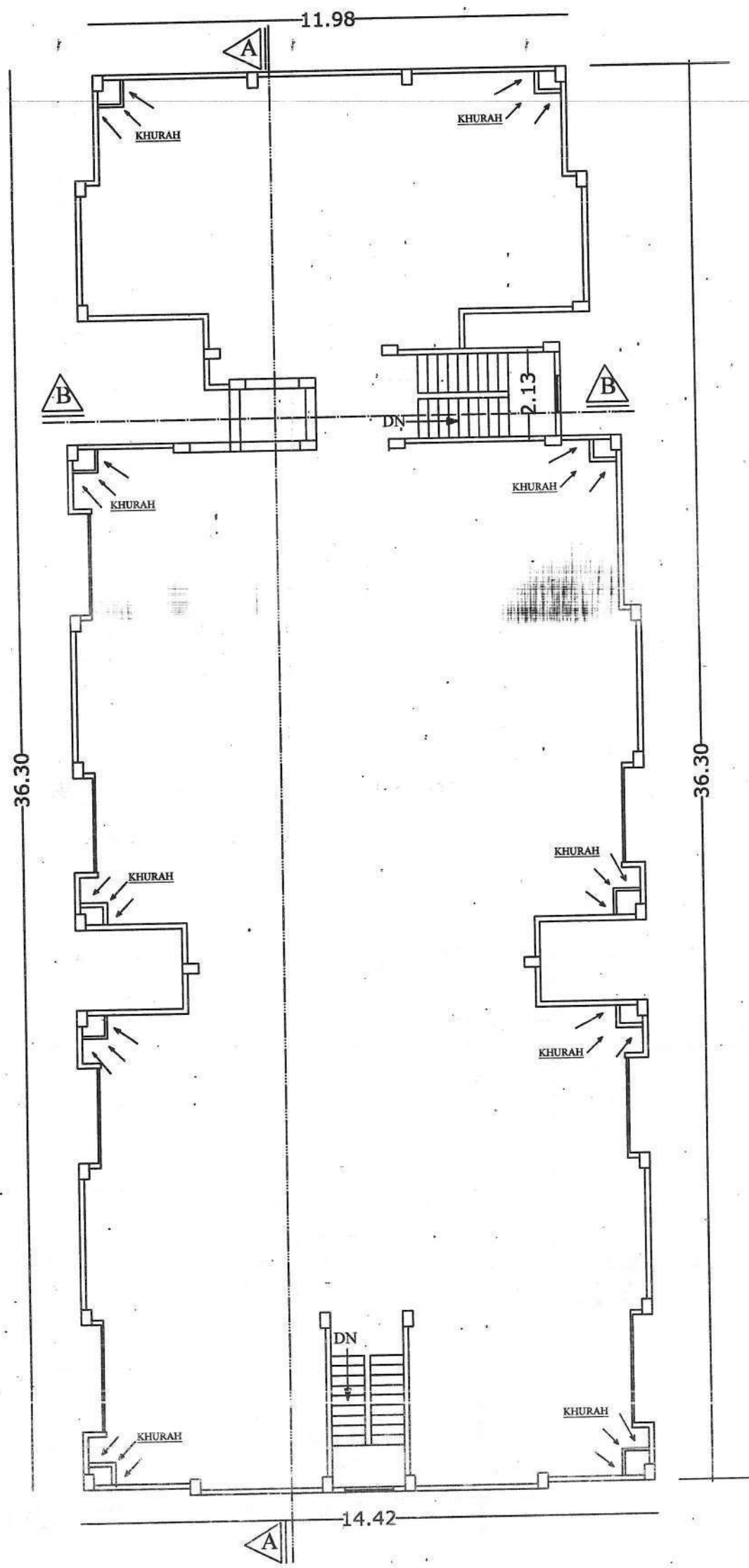
SIGNATURE OF STRUCTURAL ENGR.



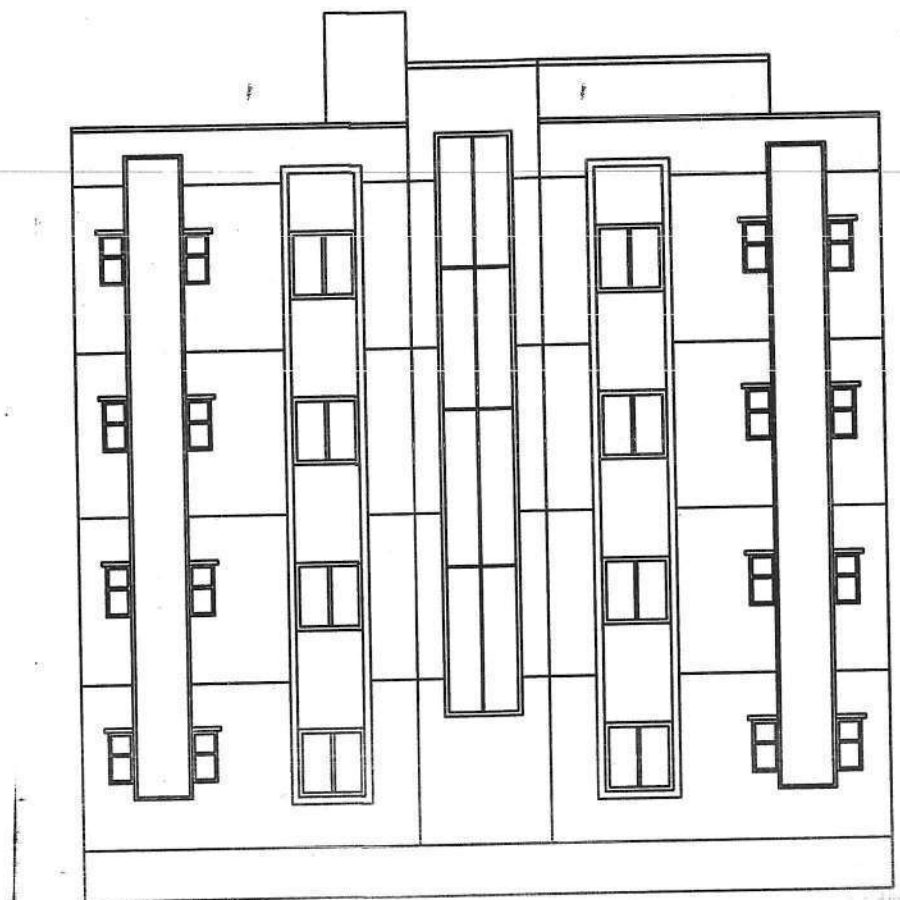
GROUND FLOOR PLAN
SCALE 1:100



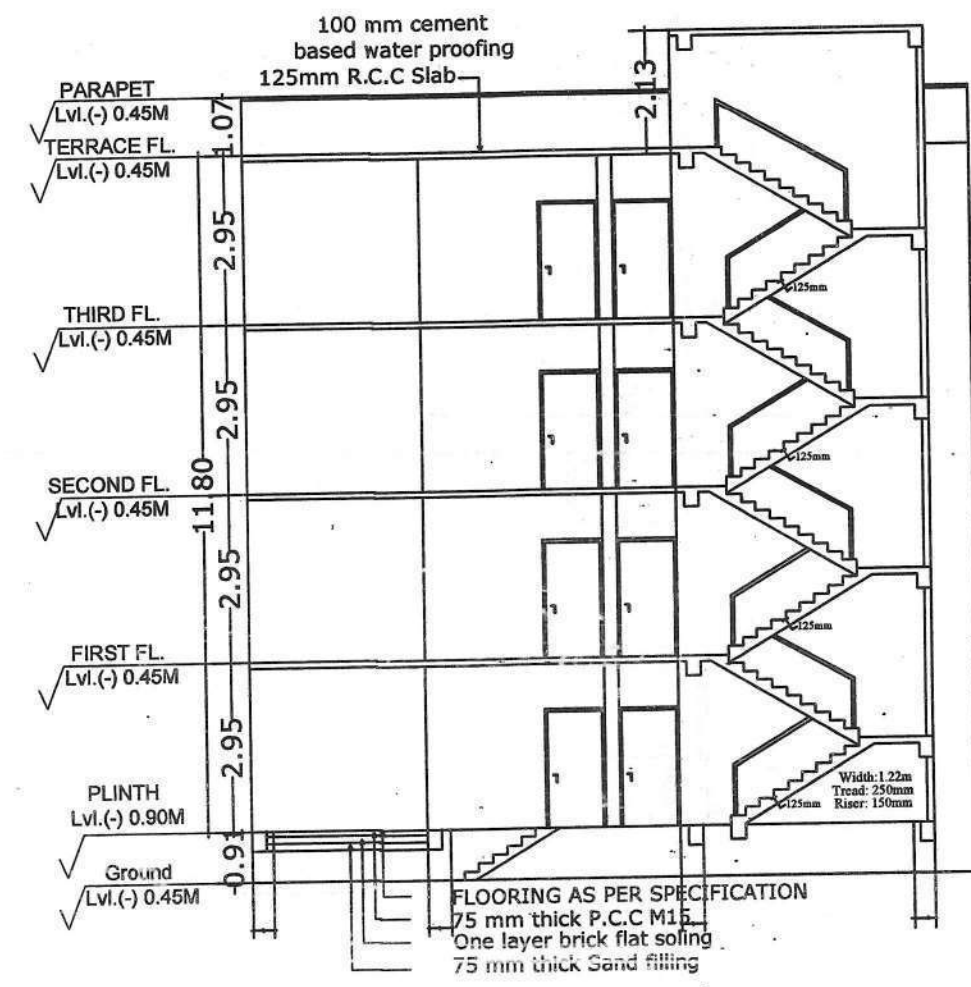
1ST, 2ND, 3RD FLOOR PLAN
SCALE 1:100



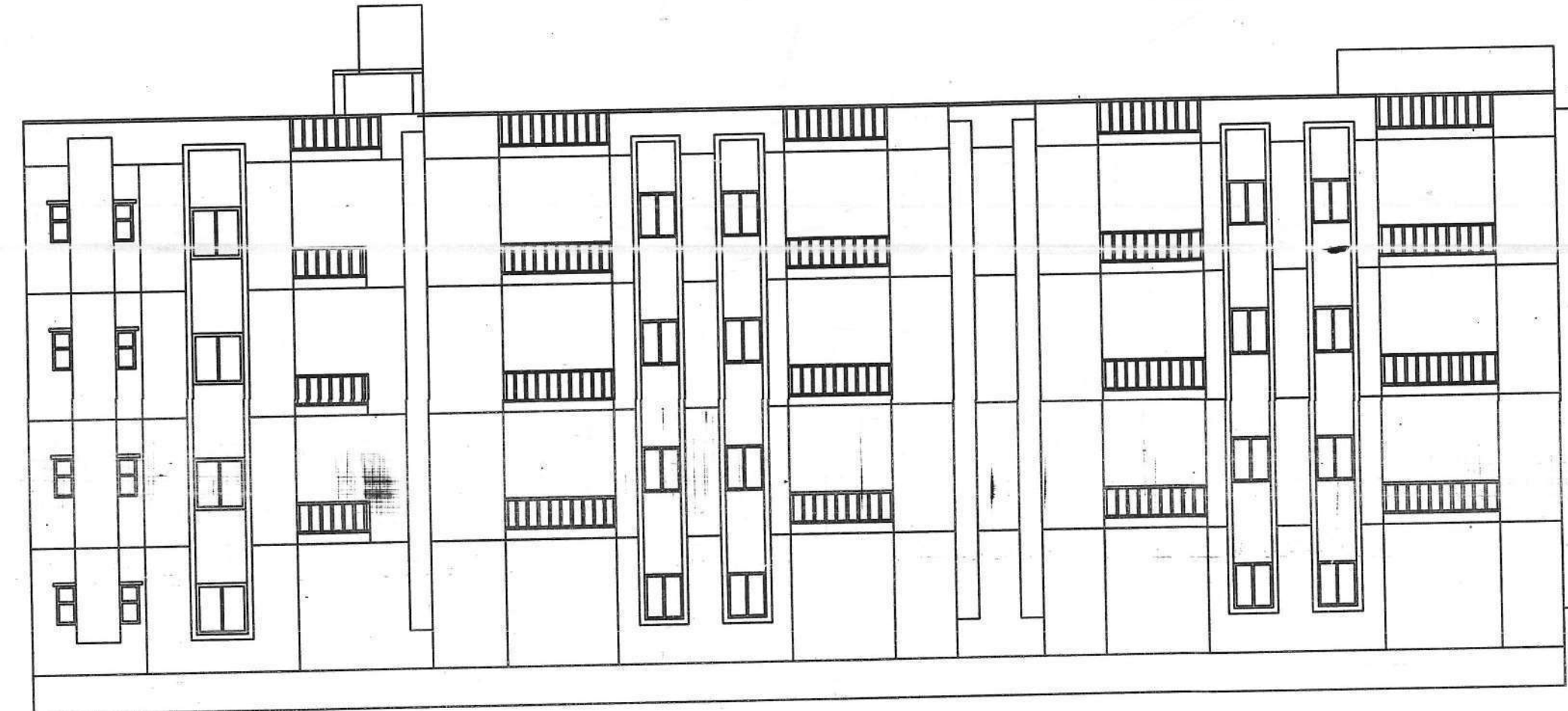
TERRACE FLOOR PLAN
SCALE 1:100



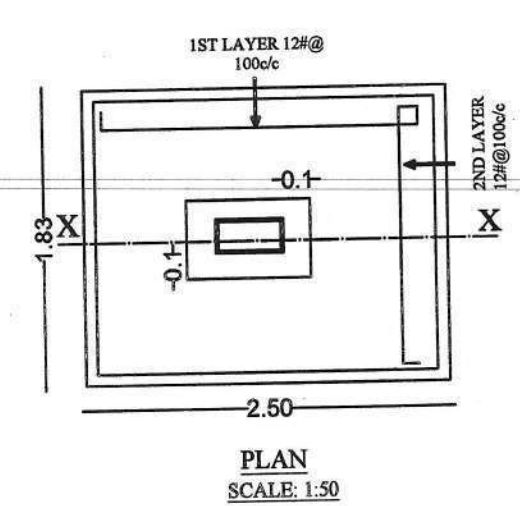
FRONT ELEVATION
SCALE 1:100



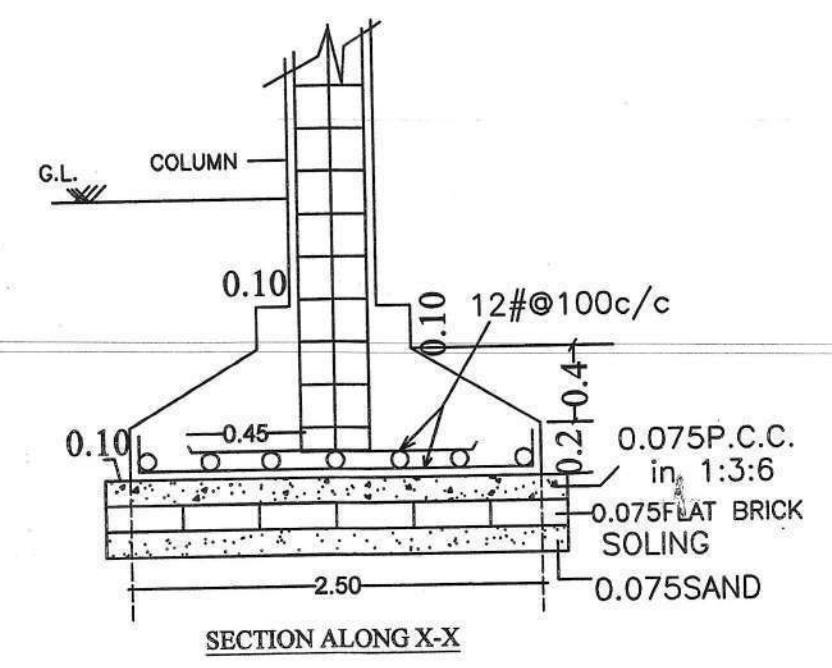
SECTION AT B-B
SCALE 1:100



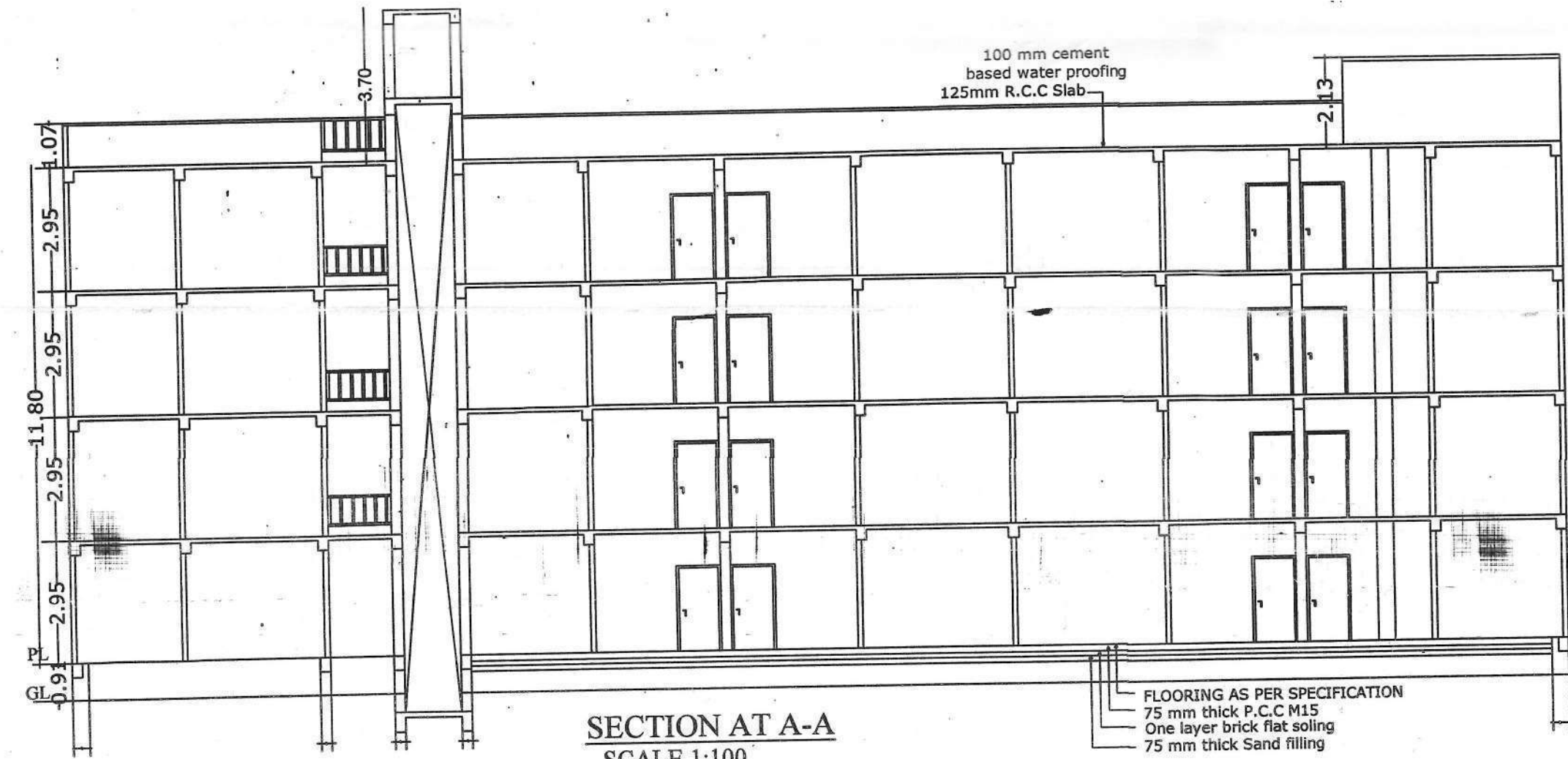
NORTH SIDE ELEVATION
SCALE 1:100



PLAN
SCALE 1:50



SECTION ALONG X-X



SECTION AT A-A
SCALE 1:100

BUILTUP AREA OF MAIN BUILDING = 32445.60 Sq.m
15% OF TOTAL BUILTUP AREA OF MAIN BUILDING = 32445.60 x 0.15 Sq.m
= 4866.84 Sq.m

PLOT DETAIL									
PLOT AREA AS PER DEED = 2429.00 Sqm.(60.00dec.)									
PLOT AREA AS PER SITE = 2429.00 Sqm.									
FAR CALCULATION									
BLOCK - A(G+3)									
GR. FLOOR B U. AREA = 466.42 Sq.m									
1ST. FLOOR B U. AREA = 466.42 Sq.m									
2ND. FLOOR B U. AREA = 466.42 Sq.m									
3RD. FLOOR B U. AREA = 466.42 Sq.m									
TOTAL B U. AREA OF BLOCK- A = 1865.70 Sq.m									
BLOCK - B(G+3)									
GR. FLOOR B U. AREA = 430.20 Sq.m									
1ST. FLOOR B U. AREA = 430.20Sq.m									
2ND. FLOOR B U. AREA = 430.20 Sq.m									
3RD. FLOOR B U. AREA = 430.20Sq.m									
TOTAL B U. AREA OF BLOCK- B = 1720.80 Sq.m									
BLOCK - C(G+4)									
GR. FLOOR B U. AREA = 131.00 Sq.m									
1ST. FLOOR B U. AREA = 310.70Sq.m									
2ND. FLOOR B U. AREA = 310.70 Sq.m									
3RD. FLOOR B U. AREA = 310.70Sq.m									
4TH. FLOOR B U. AREA = 310.70Sq.m									
TOTAL B U. AREA OF BLOCK- C = 1373.80 Sq.m									
TOTAL B U. AREA OF BLOCK - A + BLOCK - B + BLOCK- C = 4960.30 Sq.m									
F.A.R. = 4960.30/2429.00 = 2.0									
GENERAL SPECIFICATION									
1.) FOUNDATION :- R. C. C. FOUNDATION AS PER STRUCTURE DESIGN.									
2.) SUPERSTRUCTURE :- R. C. C. FRAMED STRUCTURE AS PER STRUCTURE DESIGN.									
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DOOR SCHEDULE									
SL. No.	MARK	SIZE		SILL HEIGHT	LINTEL HEIGHT	REMARKS			
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3	D2	0.76	2.13	0.0	2.13	WOODEN FLUSH DOOR			
WINDOW SCHEDULE									
MARK	SIZE		SILL HEIGHT	LINTEL HEIGHT	REMARKS				
W	1.52	1.22	0.91	2.13	AL GLAZED SLIDING WINDOW				
W1	0.91	1.06	1.07	2.13	AL GLAZED SLIDING WINDOW				
W2	0.45	1.06	1.07	2.13	VENTILATOR LOUVERED VENTILATOR				
PROPOSED RESIDENTIAL BUILDING BLOCK -A(G+3), BLOCK - B(G+3) AND BLOCK - C(G+4) FOR EWS OF SRI MANOJ KUMAR SINGH SON OF LATE RAJ BALAV SINGH AT GRAM RASALPUR, THANA CHANDAUTI, THANA NO. 234 DIST. GAYA. KHATA NO. 585(NEW) PLOT NO. 1426(NEW) AND 1424(NEW).									
DEVELOPER DETAILS :-						SHEET NO. 01/03			
HIMALAYA PRANGAN RESIDENTIAL COMMERCIAL PROPERTIES, HEAD OFFICE - NOOR COMPOUND, NEAR V2 SHOWROOM IN FRONT OF CIVIL LINE POLICE STATION, P.O. HEAD POST OFFICE, P.S. - CIVIL LINES DIST. GAYA (BIHAR). (1) DHARMENDRA KUMAR SINGH - MANAGING DIRECTOR (2) CHANDAN KUMAR ----- DIRECTOR (3) SAHIL GUPTA ----- DIRECTOR						 SCALE 1:100/200			

SIGNATURE OF OWNER

SIGNATURE OF DEVELOPER

SIGNATURE OF ARCHITECT

SIGNATURE OF STRUCTURAL ENGR.